



University of Kentucky®

Procurement Services

INVITATION FOR BIDS

CCK-0084-3-26

Entomology Research and Education Center

ADDENDUM #3

11/18/2025

IMPORTANT: BID AND ADDENDUM MUST BE RECEIVED BY: 11/25/2025 @ 3:00 P.M. LEXINGTON, KY TIME

Bidder must acknowledge receipt of this and any addendum as stated in the Invitation for Bids.

ITEM #1: Revisions to Original Bid Documents and Questions & Answers

- Please refer to the enclosed additional information and questions and answers from the project team as you prepare your bids.

OFFICIAL APPROVAL
UNIVERSITY OF KENTUCKY

Ken Scott

11/18/2025

Ken Scott / (859) 257-9102

SIGNATURE

Typed or Printed Name



CCK-0084-3-26 Entomology Research and Education Center

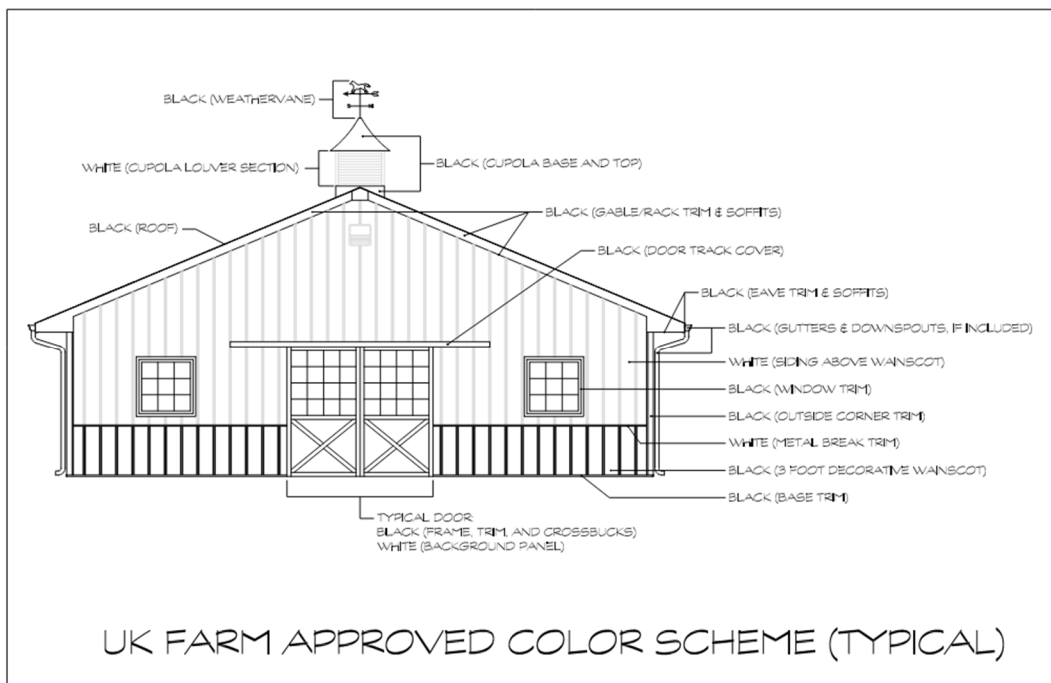
Addendum #3

Issued: November 18, 2025

The following adjustments are to be made to the bid documents for the UK Entomology project, bid invitation number: CCK-0084-3-26. Contractor to verify inclusion of all addenda items with sub-contractors prior to submitting final bid. Items included in this addenda are:

- Addenda Items
- Contractor submitted questions and Design Team Responses
- Door Hardware Specification
- Revised sheets SU102, E102

Metal Panel: Follow UK's standard color scheme. Black metal panel wainscot 3' – 0" AFF, white metal panel elsewhere. Transition strip to be white. See color information below that will serve as the design guidance for the wainscoting.



BIDDER QUESTIONS:

1. Is R-13 batt insulation acceptable for the exterior wall? The drawings calls for R-19 batt insulation.?

A: R-19 is required

2. I was reviewing the plans and specs and did not see a spec for hardware. Could you please advise what hardware is needed for this project?

A: Refer to "ATTACHMENT A" within this document.

3. Per SU102 - Site utility owner is responsible for providing power conduits between meter base and electric utility pole.

A: The utility company will provide the wiring between the meter base and the utility pole. We will revise the electrical service scope / responsibilities in an upcoming addendum. The contractor, not the owner, shall provide the conduit b/w the meter base and utility pole to provide a complete electrical system to the building.

4. Please see question for the door hardware scope of work. Do you have hardware sets? There isn't any indicated on the door schedule. I also don't see anything in the spec about hollow metal or hardware.

A: Refer to "ATTACHMENT A" within this document.

5. Please provide a spec and finish selection for the casework shown in Multi-Purpose Rm 100.

A: Refer to drawings in this document labeled "ATTACHMENT B" sheet A622 and A623.

6. Door Hardware: The door hardware seems to be missing from the plans/specs and the hardware sets have not been identified in the door schedule. Please advise.

A: Refer to "ATTACHMENT A" within this document.

7. Toilet Accessories: On drawing A111, General Floor Plan note says "REFER TO ENLARGED PLANS (A400) AND FINISH PLAN A600 SERIES FOR WALL FINISHES, INCLUDING TILES, PAINTS, TRIMS, SPECIALTY WOOD PANELING, ETC. REFER TO A600 FOR TOILET ACCESSORY SCHEDULE." Please provide this A600 plan.

A: Toilet accessories information below. Toilet fixtures are in the plumbing drawings.

36" Grab Bar	Bobrick	B-5806x36
42" Grab Bar	Bobrick	B-5806x42
18" Vertical Grab Bar	Bobrick	B-5806x18
Paper Towel Dispenser	Bobrick	B-3961
Toilet Paper Dispenser	Bobrick	B-6999
Soap Dispenser	Bobrick	B-4112
Wall Hung Mirror	Refer to plans for dimensions	
Sanitary Napkin Dispenser	Bobrick	B-254

8. 06200 Finish Carpentry Spec: We could not locate any wood trim, baseboard or sills. Is there a sill to the window?

A: Provide Solid Surface window sill and wood window trim per the documents. Provide vinyl wall base and FRP wall base per the documents.

9. Is there a spec for the vinyl window?

A: Manufacturers:

1. Anderson 100 – Series
2. Jeld-Wen Premium Vinyl V-4500
3. Ply Gem Series 200
4. Windsor Next Dimension
5. Or approved equal

10. Is there a preferred height (4" or 6"), and does coils or sticks matter? (regarding interior vinyl base.)

A: 4" vinyl wall base. Coils required. Refer to finish schedule for other information pertaining to wall base.

11. AD101 Demo Plan Note 5 says to remove and dispose of machinery and equipment. What machinery and equipment are to be removed and does it need to be disassembled to be removed?

A: See question 13.

12. Will interior photos be provided of the existing space?

A: Additional photos have been included within this addendum.

13. AD101 Demo RCP Plan Note 1 says to remove ceiling hung equipment. What is the ceiling hung equipment?

A: Equipment will have been removed by UK Farm. GC to demolish and dispose of remaining conduit in ceiling.

14. AD1R1 Note 9 says to remove all items fastened to walls such as shelving and millwork. Please identify all shelving, millwork, etc. to be removed.

A: GC to remove shelving and conduit present on walls.

15. A111 Floor Plan Note 2 shows a port to experiment hive. What is the port, and how is it installed?

A: Refer to architectural details 4 / A310 and 7 / A310 pertaining to the hive ports. Ports to be installed @ 4' - 0" AFF.

16. A111 Floor Plan Note 2 shows a port to experiment hive. Is the contractor providing the port?

A: See question 15. Contractor is providing and installing port per drawings.

17. A111 Floor Plan Note 4 shows a projector screen. What is the projector screen, and how is it attached?

A: The design intent is for a wall mounted TV, not a projector screen. The owner will furnish the TV. GC will provide blocking in wall for the TV mount.

18. A111 Floor Plan Note 4 shows a projector screen. Is the contractor providing the screen?

A: See question 17.

19. A111 Floor Plan Note 1 shows FRP to all walls. Is the FRP to go to ceiling in all rooms?

A: FRP is to go on walls and ceiling in the honey extraction room. FRP is also located in the restroom. Refer to elevations for FRP information in the restroom.

20. A111 Floor Plan Note 1 shows FRP to all walls, However, A400 shows walls with no FRP. Please clarify.

A: See question 19.

21. What is the dollar magnitude of this project?

A: \$ 400,000

22. What is the owner demolishing?

A: Equipment inside - air compressor - gas heater, floor stove heater, old tobacco presses. Contractor will demo all other items

23. Please clearly identify all other work being performed by the owner.

A: Per the documents and this addendum.

24. Who is responsible for seed and straw after the owner backfills utilities?

A: Owner

25. The plans say the contractor is responsible for all cost from utility companies. Since all utilities outside the building are by the owner, will the owner bear the cost?

A: Electrical contractor will install pipe from pole to meter. Temporary power is to be by the GC. Electrical contractor to backfill electric trench. Owner will provide final grading.

26. Who is responsible for MEP permits?

A: The contractor shall pull all appropriate permits for the project and include any related costs in his bid price.

27. The concrete slab at the overhead door is badly cracked and settled. Please provide clear directions on how to remedy this problem.

A: Refer to photo plan and photos for areas in which concrete is in need of repair.

In areas C and D: Infill with concrete. Add rebar to existing concrete for the new concrete pour.

In areas A, B, E: Cut out slab. 4" slab fill with 4" x 4" x 0.25 WWM.

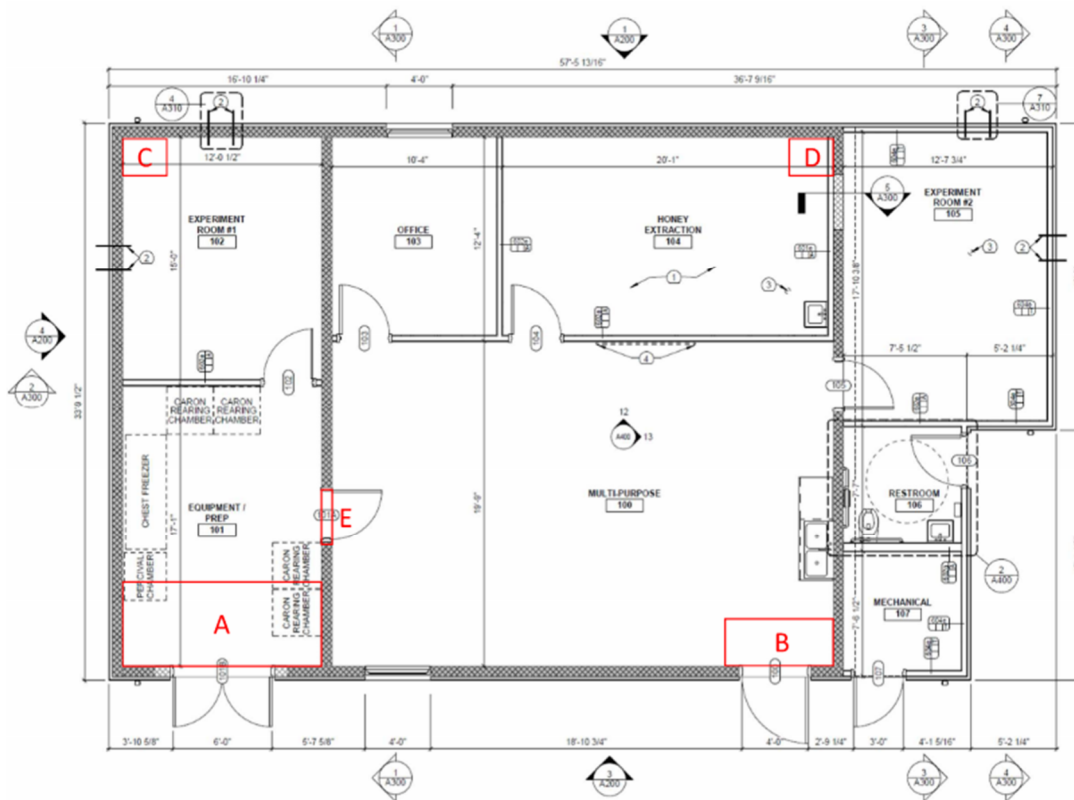


Photo Location Plan



Photo A



Photo B



Photo C



Photo D



Photo E

28. There is a large pile of soil and debris at the back of the building. Who is responsible for clearing, regrading, and seed and straw?

A: Owner

29. The concrete slab at the personnel entrance door is badly cracked and settled. Please provide clear directions on how to remedy this problem.

A: See question 27.

30. Judging from the fresh cracks in the CMU wall, the front left corner of the building appears to be still settling. Should this be addressed in this contract?

A: Tuckpoint before covering.

31. There appears to be existing lightning protection on the building that is not connected to a grounding rod. Is new lightning protection required?

A: The existing lightning rods and ground cabling shall be removed when the roof is replaced. A new lightning protection system is not required.

32. Please confirm there is no work to be done in or around the existing scale.

A: Correct

33. Who will pull new power and communications into the building?

A: Refer to the "Site Utility Owner VS. Contractor Responsibilities" notes on Drawing SU102. All power from the meter into the building is contractor responsibility. The owner will pull all communication cabling, the contractor is responsible for the associated data conduit rough-in.

34. Please confirm any exterior work to be done by the contractor.

A: Per the documents. Refer to question 33 and the documents. Referencing AS100 Sidewalks (coded note 1) and Apron (coded note 2), these shall be provided by the Owner.

35. The RFP states UK retains the right to exclude any subcontractors used by the general contractor. Please provide a list of all blacklisted subcontractors so we do not mistakenly use one in our proposal.

A: No list of excluded subcontractors exist.

36. Please clarify which party is responsible for the equipment seen in Equipment/Prep Room 101, page A111.

A: Owner is providing the equipment in room 101.

37. Headstones were discovered near the building at the pre bid meeting. Please clarify if these are to be removed. If so, who is to remove them?

A: Owner to move.

38. Where is page A600?

A: Refer to information provided on A601.

39. Will the toilet accessories shown on the drawings, not listed in 10810, be OFCI?

A: Accessories shown on architectural and MEP drawings will be GC provided and installed.

40. Is there a preferred manufacturer for the fluid applied weather barrier?

A: Change to sheet membrane air and vapor barrier.

Manufacturers:

1. Tremco, ExoAir 210AT
2. WR Meadows Air-Shield SMP
3. Sto, StoShield SA VP
4. Or approved equal

41. Is the project screen OFCI?

A: The design intent is for a wall mounted TV, not a projector screen. The owner will furnish the TV. GC will provide blocking in wall for the TV mount.

42. Is there a preferred manufacturer for the vinyl windows?

A: See question 9.

43. At the existing OH door, the foundation is cracked and shows signs of settling. Will this section of concrete need to be replaced?

A: See question 27

44. Is the casework in detail 13 on A400 OFCI? If not, please give casework/countertop details.

A: GC provided and installed. Refer to question 5 for more information.

45. Room #104 ceiling is FRP. On page G-102 Section-09770-FRP Calls out Ceiling panels 23 3/4"X 47 3/4" but on page A-111 RCP doesn't show any grid lines. Are these supposed to be panels with a grid?

A: No, FRP panels will be standard format size (4' x 8') applied to gypsum ceiling per manufacturer's approved installation guide.

46. In reference to the Building Permit Fee (not the Plan Review Fee), has the overall building permit already been applied for, and are we responsible for the cost, or has the permit cost already been paid?

A: No cost for the general building permit. Contractor shall include costs for necessary trade permits.

47. Are we required to carry Builders Risk Insurance?

A: Insurance requirements are in the general conditions of the contract

48. If Rock is encountered during excavations, will the cost for Rock Removal be paid by Change Order?

A: Yes

49. Who is responsible for paying 3rd Party Special Inspections?

A: Owner will provide.

50. Do you have a site plan or documents showing which trees will need fencing around them?

A: none

51. Will there be a site plan or document stating what landscaping will need to be done? (Trees planted and removed)

A: none

52. Is a temporary fence (UK standards) to encapsulate the entire project site required?

A: Temporary fencing is not required on this project. However, contractor is responsible for securing all tools and equipment on the site.

SECTION 087100 - DOOR HARDWARE**PART 1 - GENERAL****1.1 SUMMARY**

- A. This Section includes the following:
 - 1. Commercial door hardware for the following:
 - a. Swinging pedestrian doors.
 - 2. Hardware for doors specified in other Sections.

1.2 SUBMITTALS

- A. Number of Submittals: All items listed in this section are to be included in one submittal prepared by one supplier.
- B. Product Data: Include construction and installation details, material descriptions, dimensions of individual components and profiles, and finishes.
- C. Qualification Data:
 - 1. Finish Hardware Installers
 - a. Finish hardware, including electrified hardware, for wood, hollow metal, and aluminum doors to be installed by personnel trained and certified by the manufacturer of the product furnished.
 - b. Provide manufacturer's certificates for installer as part of Contractor's bid information. Failure to supply certificates may result in rejection of bid.
 - 2. Hardware Supplier
 - a. Established contract hardware firm which maintains and operates an office, display, and stock in project area and which is a factory authorized distributor of the lock being furnished.
 - b. Hardware scheduled and furnished by or under direct supervision an Architectural Hardware Consultant.
 - c. All schedules submitted to the Architect for approval and job use must carry the signature and certified seal of this Architectural Hardware Consultant.
 - 3. Architectural Hardware Consultant
 - a. Currently certified by the Door and Hardware Institute.
 - b. Full-time employee of the Hardware Supplier.
 - c. Available at reasonable times to Architect, Owner, and Contractor during course of work.
- D. Maintenance Data: For each type of door hardware. Include final hardware schedule, product data sheets, keying schedule, riser diagrams, and point-to-point wiring diagrams in 3-ring binder, labeled on spine with project name and "Door Hardware".
- E. Warranty: Special warranty specified in this Section.

F. Other Action Submittals:

1. Door Hardware Sets: Prepared by or under the supervision of a DHI certified Architectural Hardware Consultant, detailing fabrication and assembly of door hardware, as well as procedures and diagrams. Coordinate the final door hardware sets with doors, frames, and related work to ensure proper size, thickness, hand, function, and finish of door hardware.
 - a. Format: Comply with scheduling sequence and vertical format in DHI's "Sequence and Format for the Hardware Schedule"; other formats will be rejected without review. Double space entries, and number and date each page.
 - b. Number of Copies: (5).
 - c. Sequence of Sets: Submittal hardware sets shall be in exact same order as specification hardware sets: one heading per specification and submittal hardware set. Submittal set numbers shall relate to specification set numbers, ie. if three headings are required for Set 12 due to door width differences, then the heading numbers should be 12.1, 12.2, 12.3 or 12A, 12B, and 12C, or employing similar linking logic.
 - d. Content: Include the following information:
 - 1) Identification number, location, hand, fire rating, and material of each door and frame.
 - 2) Notes included with specification hardware sets transcribed verbatim into submittal hardware sets.
 - 3) Type, style, function, size, quantity, and finish of each door hardware item.
 - 4) Complete designations of every item required for each door or opening including name and manufacturer.
 - 5) Degree of opening for closer and overhead stop and holder installation.
 - 6) Keying information.
 - 7) Fastenings and other pertinent information.
 - 8) Location of each door hardware set, cross-referenced to Drawings, both on floor plans and in door and frame schedule.
 - 9) Explanation of abbreviations, symbols, and codes contained in schedule.
 - 10) Mounting locations for door hardware.
 - 11) Door and frame sizes and materials.
 - 12) Description of each electrified door hardware function, including location, sequence of operation, and interface with other building control systems.
 - a) Sequence of Operation: Include description of component functions that occur in the following situations: authorized person wants to enter; authorized person wants to exit; unauthorized person wants to enter; unauthorized person wants to exit.
 - 13) List of related door devices specified in other Sections for each door and frame.
 - e. Submittal Sequence: Submit the final door hardware sets at earliest possible date, particularly where approval of the door hardware sets must precede fabrication of other work that is critical in Project construction schedule. Include Product Data, Samples, Shop Drawings of other work affected by

door hardware, and other information essential to the coordinated review of the door hardware sets.

1.3 WARRANTY

- A. Special Warranty: Manufacturer's standard form in which manufacturer agrees to repair or replace components of door hardware that fail in materials or workmanship within specified warranty period.
1. Failures include, but are not limited to, the following:
 - a. Structural failures including excessive deflection, cracking, or breakage.
 - b. Faulty operation of operators and door hardware.
 - c. Deterioration of metals, metal finishes, and other materials beyond normal weathering and use.
 2. Warranty Period: **Five years** (this includes all mechanical and electrified hardware items) from date of Final Completion, except as follows:
 - a. Manual Closers: 10 years from date of Final Completion.

PART 2 - PRODUCTS

2.1 SCHEDULED DOOR HARDWARE

- A. General: Provide door hardware for each door to comply with requirements in this and door hardware sets indicated in Part 3 "Door Hardware Sets" Article.
1. Door Hardware Sets: Provide quantity, item, size, finish or color indicated, and named manufacturers' products.
 2. Sequence of Operation: Provide electrified door hardware function, sequence of operation, and interface with other building control systems indicated.
- B. Designations: Requirements for design, grade, function, finish, size, and other distinctive qualities of each type of door hardware are indicated in Part 3 "Door Hardware Sets" Article. Products are identified by using door hardware designations, as follows:
1. Named Manufacturers' Products: Manufacturer and product designation are listed for each door hardware type required for the purpose of establishing minimum requirements. Manufacturers' names are abbreviated in Part 3 "Door Hardware Sets" Article.
 2. References to BHMA Standards: Provide products complying with these standards and requirements for description, quality, and function.
- C. In other Part 2 articles where titles below introduce lists, the following requirements apply to product selection:

1. Available Manufacturers: Subject to compliance with requirements, manufacturers offering products that may be incorporated into the Work include manufacturers specified.

2.2 FINISHES

- A. Standard: BHMA A156.18, as indicated in door hardware sets.
- B. Protect mechanical finishes on exposed surfaces from damage by applying a strippable, temporary protective covering before shipping.
- C. Appearance of Finished Work: Variations in appearance of abutting or adjacent pieces are acceptable if they are within one-half of the range of approved Samples. Noticeable variations in the same piece are not acceptable. Variations in appearance of other components are acceptable if they are within the range of approved Samples and are assembled or installed to minimize contrast.

PART 3 - EXECUTION

- A. Mounting Locations:
 1. Wall Stops: Locate so that lockset spindle and wall stops share horizontal and vertical centerlines.
 2. Wall Stop/Holders: Locate 4" down and in from top lock-edge corner of door w/holder slot at bottom of unit.
 3. **Closers and Overhead Stop/Holders: Template and mount closers and overhead stops for maximum degree of opening before door encounters obstruction or so as to interface with specified wall stops and holders. When used with closers, template and locate overhead stops so that closer arm does not fully extend and bottom out. These functionality requirements override any degree of opening information in the specifications or submittals.**
- B. **Weatherstrip and Gasketing with Metal Retainers: Fit up as needed for neat appearance with no gaps between retainers or bulbs.**
- C. Thresholds: Set thresholds for exterior and acoustical doors in full bed of sealant complying with requirements specified in Division 07 Section "Joint Sealants." **Position for complete seal with bottom of doors with no penetration of air or daylight.**

3.2 FIELD QUALITY CONTROL

- A. **Provide Door Hardware Inspection Services and Field Quality Report as indicated below.**

3.3 DOOR HARDWARE SETS

Hardware Set 01

(3) Butt Hinges	BB1279 4.5 x 4.0	652	HAG
(1) Office Lock	L9050-06A	630	SCH
(1) SFIC Mortise Cylinder	Patented	626	BES
(1) Kick Plate	KO050 8 x 2LDW x CS x B4E	630	TRI
(1) Wall Stop, Convex	1270CX	626	TRI

Hardware Set 02

(1) SFIC Mortise Cylinder	Patented	626	BES
(1) Closer, HD Parallel Arm	4040XP EDA	689	LCN
(1) Closer Spacer	51875-52250		LEG

Note 1: Do not cut top jamb seal for closer arm bracket. Lower the closer on the door and mount closer shoe to jamb seal. Use spacer for 5th closer screw.

(1) Kick Plate	KO050 8 x 1LDW x CS x B4E	630	TRI
(1) Wall Stop, Convex	1270CX	626	TRI
(1) Lock Guard, Mortise Lock	5000T	626	TRI
(1) Cat H Jamb Seal Set	5924	628	LEG
(1) Panic Threshold	356MA x RCE	628	LEG

Note 2: 3/8" door undercut required for proper mating of door bottom with seal integral to threshold.

(1) Continuous Hinge	SL24HD x EPT Prep	628	SEL
(1) Panic Device, Mortise, 03	RX-LX-QEL-9975L x 697NL	626	VON

Free egress. Mechanical ingress by key.

Provide double for double doors.

Hardware Set 03

(3) Butt Hinges	BB1191 4.5 x 4.0	630	HAG
(1) Privacy Set w/Indicator	L9040-06A x IS-OCC x OS-OCC	626	SCH
(1) Closer, Regular Arm	4040XP Reg	689	LCN
(1) Kick Plate	KO050 8 x 2LDW x CS x B4E	630	TRI
(1) Mop Plate	KM050 4 x 1LDW x CS x B4E	630	TRI
(1) Wall Stop, Convex	1270CX	626	TRI
(1) Adjustable Jamb Seal Set	107NA	628	NGP
(1) Surface Sound Sweep	SSDB3	628	DHS

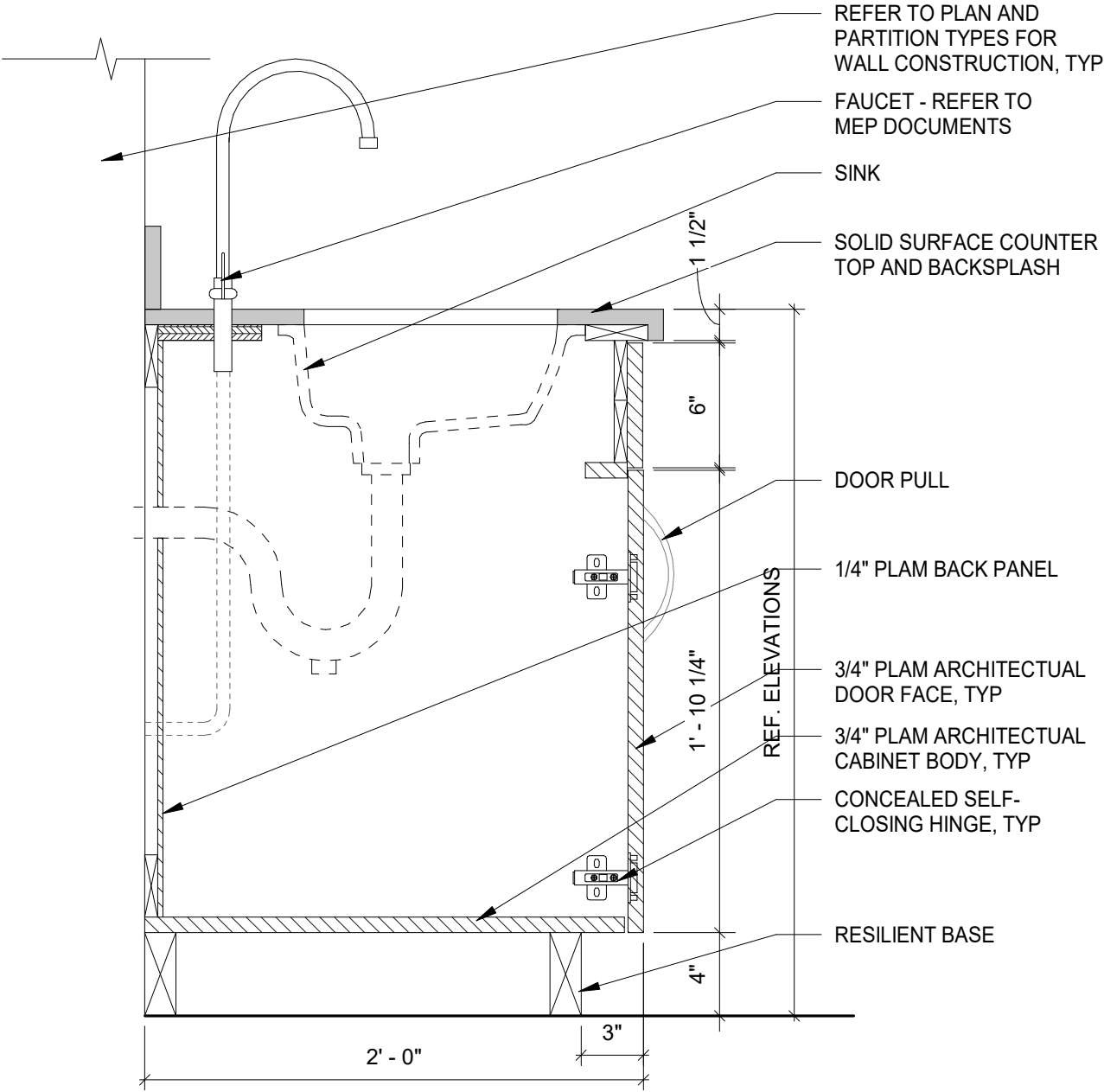
Hardware Set 04

(3) Butt Hinges	BB1279 4.5 x 4.0	652	HAG
(1) Classroom Lock	L9070-06A	630	SCH
(1) SFIC Mortise Cylinder	Patented	626	BES
(1) Closer, HD Parallel Arm	4040XP EDA	689	LCN
(1) Kick Plate	KO050 8 x 2LDW x CS x B4E	630	TRI
(1) Wall Stop, Convex	1270CX	626	TRI
(1) Adjustable Jamb Seal Set	107NA	628	NGP
(1) Surface Sound Sweep	SSDB3	628	DHS

Door	HW Set
100	02
101A	04
101B	02
102	04
103	01
104	04
105	04
106	03
107	02

END OF SECTION 087100

ATTACHMENT B

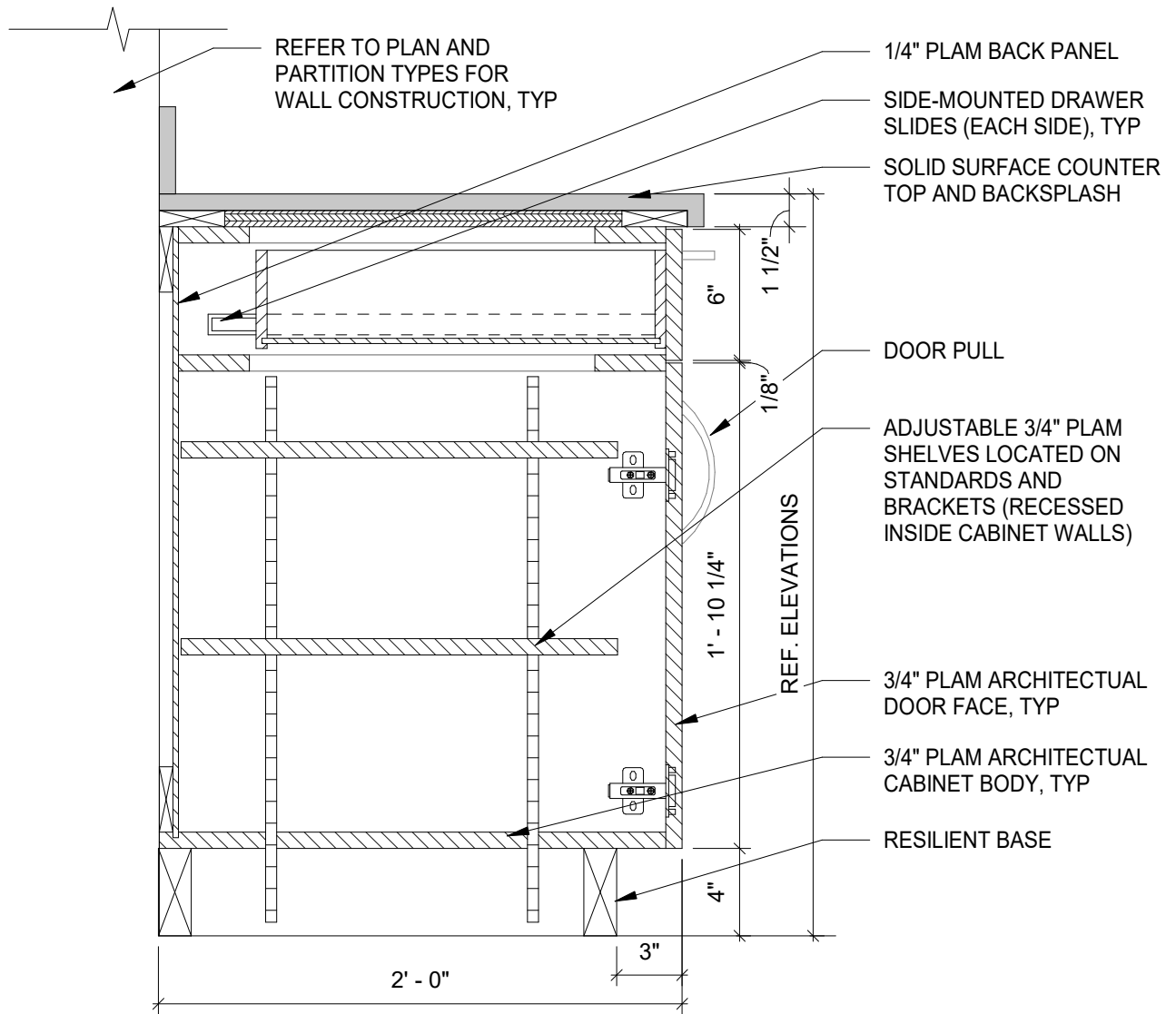


1
A622

DETAIL @ BASE CABINET SINK

SCALE: 1 1/2" = 1'-0"

ATTACHMENT B



1
A623

DETAIL @ BASE CABINET - DRAWER / DOORS

SCALE: 1 1/2" = 1'-0"

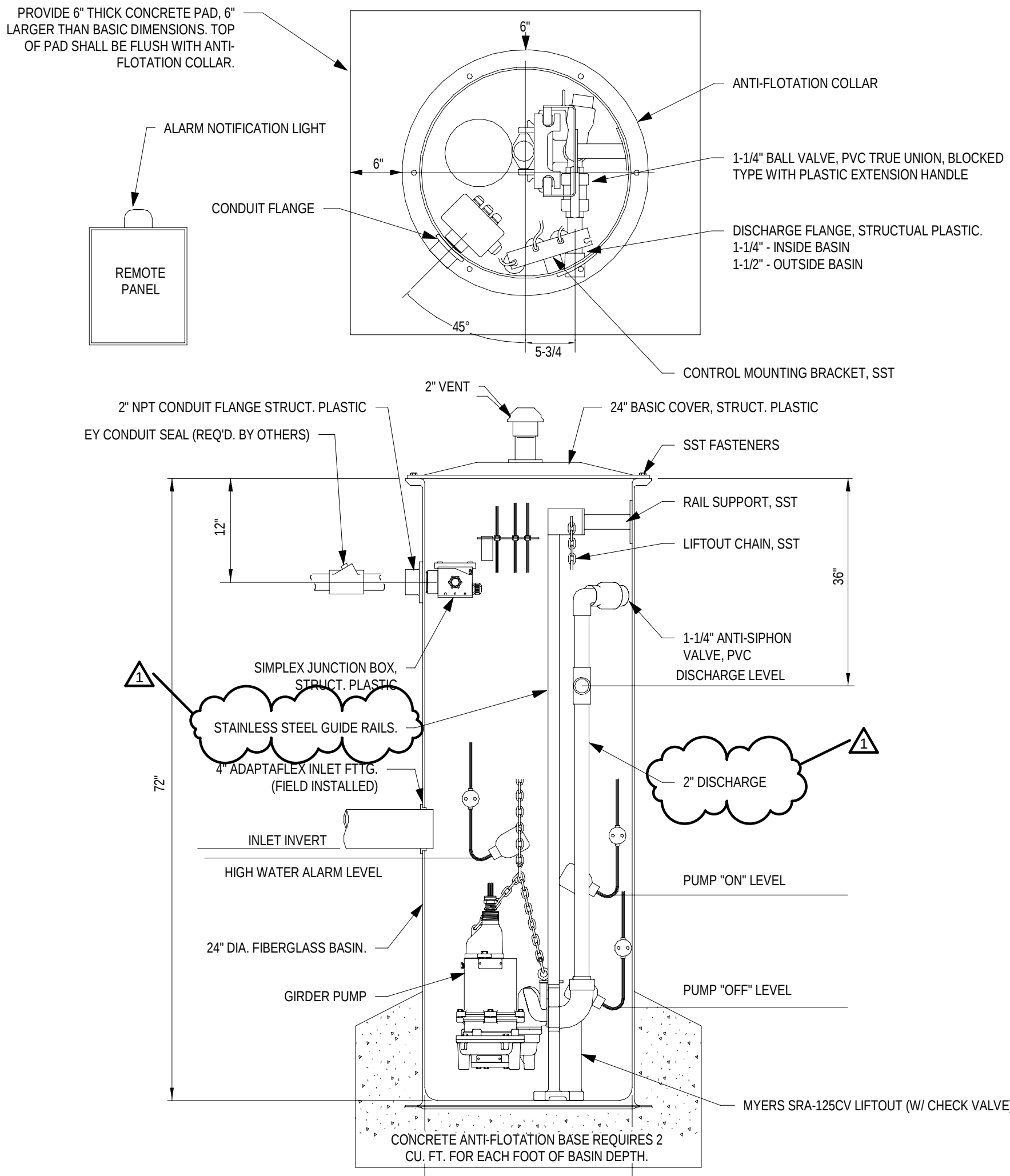
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UK ENTOMOLOGY RESEARCH
MILLWORK DETAILS

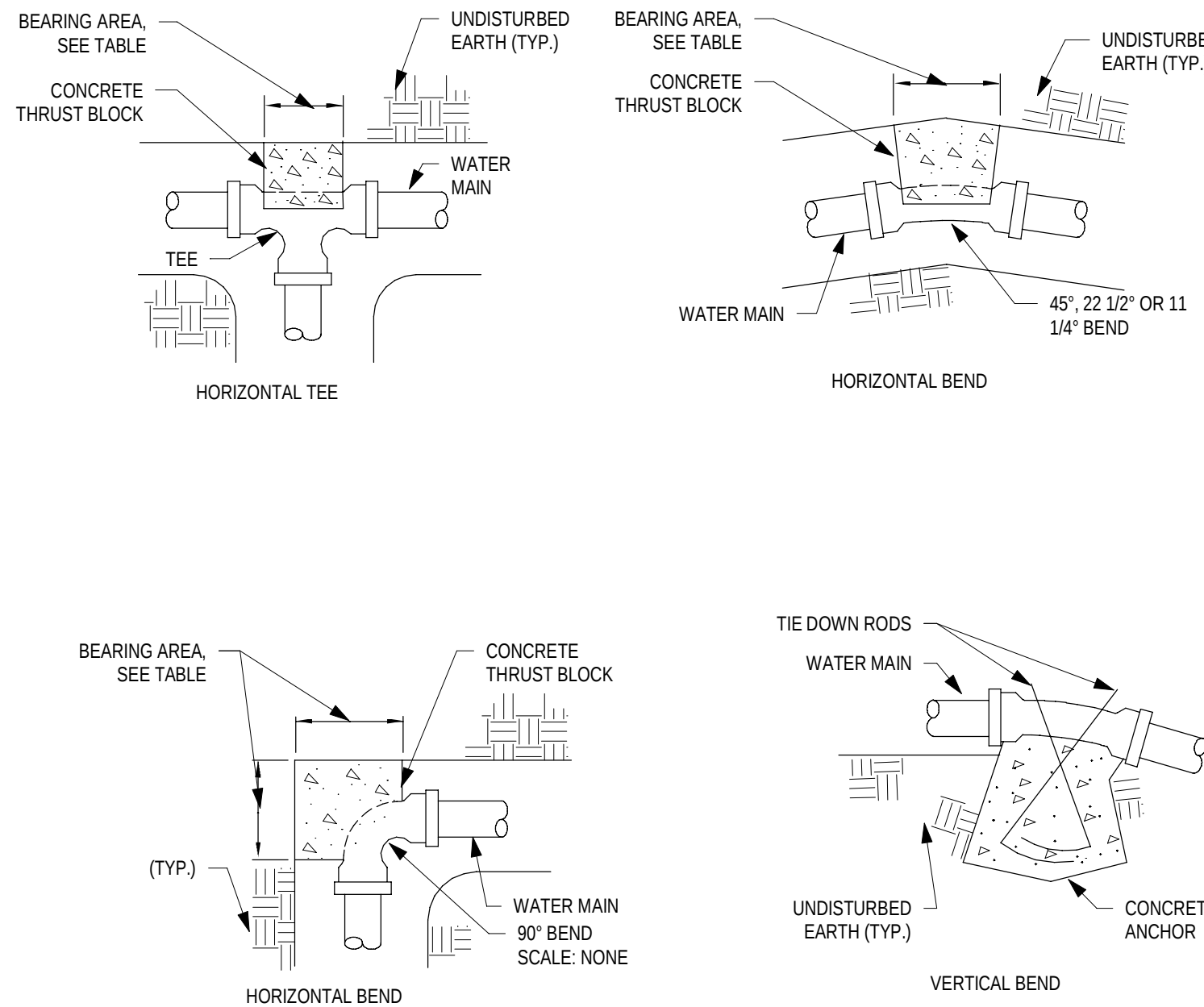
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UNIVERSITY OF KENTUCKY

morris
workshop

THE LINE SHOWN ABOVE IS
BLACK AND WHITE. PRINTED
SHEET OR ORIGINAL SIZE SUB
CORRECTLY.



3 SEWAGE LIFT STATION INSTALLATION
NOT TO SCALE



SOIL BEARING VALUE	
TYPE OF SOIL	BEARING VALUE
CEMENTED GRAVEL	4,000
COMPACTED SAND	3,000
MEDIUM CLAY	2,000
SOFT CLAY	1,000

GENERAL NOTES:

- BACKFILL SHALL BE PLACED IN LAYERS AND COMPACTED TO THE FOLLOWING MINIMUM DENSITIES PER ASTM D-1557:
BENEATH WALKS & PAVING -95%
LAWN AREAS -85%
- CONCRETE SHALL CONFORM TO ASTM C-34, WITH 28 DAY COMPRESSIVE STRENGTH OF 4,000 P.S.I.
- REINFORCING STEEL SHALL CONFORM TO ASTM A-615, GRADE 60.

THRUST BLOCK SIZE

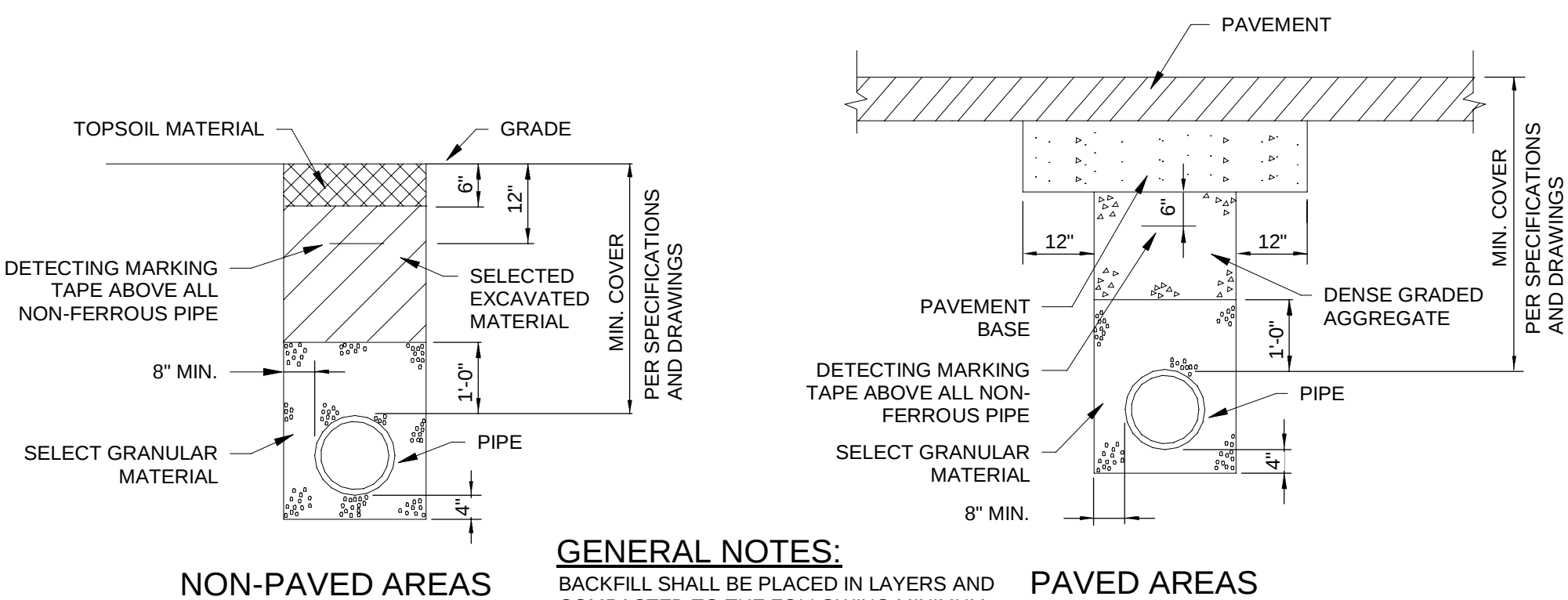
HORZ. THRUST (BEARING AREA) = TOTAL POUND THRUST
SOIL BEARING VALUE

VERT. THRUST (WEIGHT OF ANCHOR) = TOTAL POUND THRUST
WEIGHT OF FITTING
OVERBURDEN

RESULTANT THRUST AT FITTINGS (TOTAL LBS @ 150 PSI TEST PRESSURE)					
NOM. PIPE DIA. (IN.)	DEAD END	90° BEND	45° BEND	22 1/2° BEND	11 1/4° BEND
4"	2715	3839	2078	1059	533
6"	5609	7932	4293	2189	1100
8"	9650	13646	7385	3765	1892

NOTE:
TO DETERMINE THRUST AT PRESSURE OTHER THAN 150 PSI, MULTIPLY THE THRUST OBTAINED
IN THE TABLE BY THE RATIO OF THE PRESSURE TO 150.

1 THRUST BLOCK
NOT TO SCALE



2 TYPICAL UTILITY TRENCH DETAILS
NOT TO SCALE

GRINDER PUMP SCHEDULE									
MARK	MANUFACTURER	MODEL	TYPE	GPM	FT. HEAD	HP	AMPS	VOLTS/PHASE/Hz	REMARKS
GP-1	BARNES	ZOGV	SUBMERSIBLE	30	30	2	18.5	240/1/60	ALL

- REMARKS:
- PROVIDE WITH 24" DIA. FIBERGLASS BASIN WITH SEALED COVER AND ACCESSORIES INDICATED IN DETAILS.
 - PROVIDE WITH GUIDE RAILS, CHAIN AND QUICK CONNECTIONS FOR PUMP REMOVAL FROM TOP OF BASIN.
 - PROVIDE WITH REMOTE MOUNT CONTROL PANEL.
 - PROVIDE WITH MANUFACTURER'S LEVEL CONTROLS AND INTERNAL WIRING REQUIRED FOR COMPLETE OPERATION.

SITE UTILITY OWNER VS. CONTRACTOR RESPONSIBILITIES:

THE OWNER WILL SELF-PERFORM PORTIONS OF THE WORK AS OUTLINED BELOW. CONTRACTOR SHALL COORDINATE WITH THE OWNER AND RESPECTIVE UTILITIES AS REQUIRED TO PROVIDE FULLY FUNCTIONAL UTILITY SERVICES TO THE BUILDING.

PLUMBING:

CONTRACTOR'S SCOPE:

- EXTEND SANITARY SYSTEM TO FIVE FEET OUTSIDE THE BUILDING AND TERMINATE WITH AN EXTERIOR CLEANOUT.
- EXTEND DOMESTIC WATER SERVICE ENTRANCE TO FIVE FEET OUTSIDE THE BUILDING.
- PROVIDE COMPLETE GAS SERVICE INSTALLATION IN ACCORDANCE WITH DRAWINGS. COORDINATE WITH LOCAL UTILITY COMPANY.

OWNER'S SCOPE:

- PROVIDE NEW SANITARY LIFT STATION.
- EXTEND GRAVITY SANITARY SEWER FROM EXTERIOR CLEANOUT AT BUILDING TO NEW LIFT STATION WELL. EXTEND LIFT STATION FORCE MAIN PIPING AND CONNECT INTO EXIST SEPTIC SYSTEM AT ADJACENT STALLION BARN.
- EXTEND WATER SERVICE FROM FIVE FEET OUTSIDE THE BUILDING AND CONNECT TO EXISTING METER. PROVIDE FREEZE PROOF YARD HYDRANT AT OWNER DETERMINED LOCATION.

ELECTRICAL:

CONTRACTOR'S SCOPE:

- REMOVE EXISTING OVERHEAD ELECTRICAL SERVICE, METER BASE, ETC. COMPLETE.
- PROVIDE POWER CIRCUIT AND DISCONNECT ON EXTERIOR WALL FOR NEW LIFT STATION.
- PROVIDE NEMA-3R 24X24X4 PULL BOX ON BUILDING EXTERIOR FOR DATA CABLEING.
- PROVIDE CONDUIT AND JUNCTION BOX ROUGH-IN FOR DATA SYSTEMS.
- PROVIDE NEW METER BASE FOR ELECTRICAL SERVICE. EXTEND POWER SERVICE FROM METER INTO BUILDING.
- PROVIDE CONDUIT FROM METER BASE TO UTILITY POLE IAW UTILITY INSTALLATION HANDBOOK. THE UTILITY WILL PROVIDE CONDUIT RISER UP THE POLE AND CONDUCTORS BETWEEN THE POLE AND METER BASE. INCLUDE ALL COSTS IN BID PRICE TO PROVIDE A COMPLETE ELECTRICAL SYSTEM TO SERVE THE BUILDING. CONTRACTOR SHALL BACKFILL UTILITY TRENCH AND PROVIDE GRASS SEED AND STRAW IAW ARCHITECTURAL & OWNER REQUIREMENTS.

OWNER'S SCOPE:

- EXTEND SANITARY LIFT STATION POWER FROM DISCONNECT ON EXTERIOR WALL TO NEW LIFT STATION.
- INTERCEPT EXISTING SHARE CONDUIT AND EXTEND TO NEW PULL BOX ON BUILDING EXTERIOR WALL FOR DATA.
- THE OWNER WILL NOT PROVIDE ANY PORTION OF THE ELECTRICAL POWER SERVICE INSTALLATION.
- PROVIDE ALL DATA CABLEING BETWEEN STALLION BARN SWITCH AND DATA DEVICES IN PROJECT BUILDING.

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UK ENTOMOLOGY RESEARCH

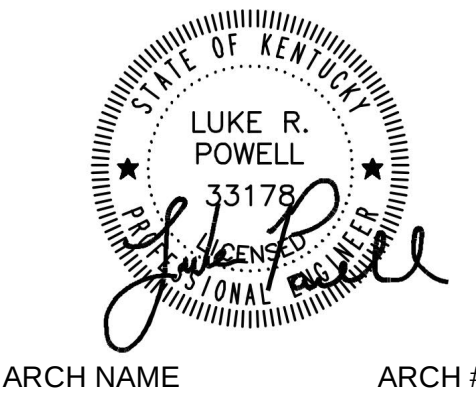
UNIVERSITY OF KENTUCKY

3030 BOSWELL LANE

LEXINGTON, KY 40511

SITE UTILITY DETAILS AND SCHEDULES

SUBMITTAL	DATE



ARCH NAME ARCH #

DATE	DESCRIPTION
11/18/25	Addendum No 3

Project Number 2503

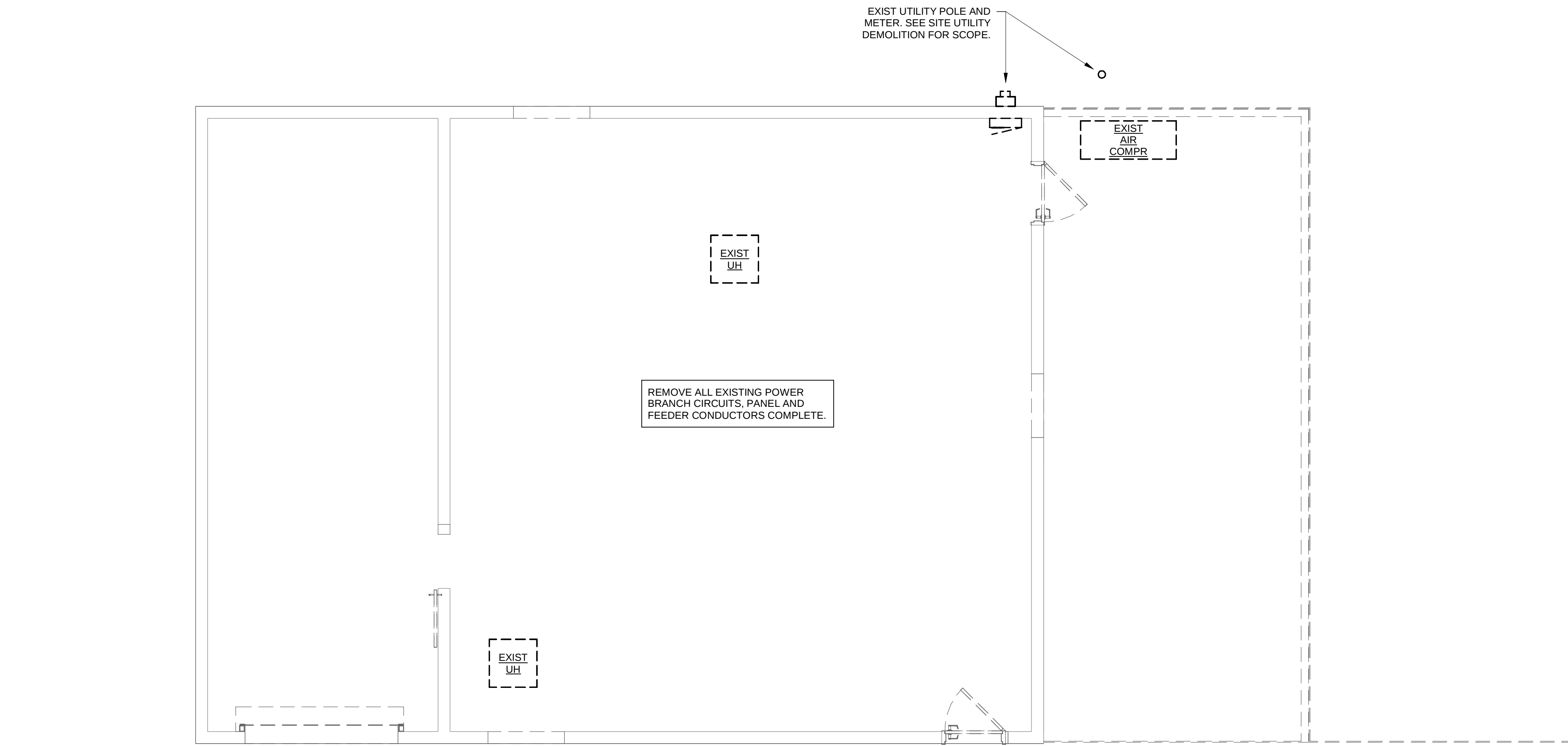
Date 09/05/25

Drawn By LRP

Checked By LRP

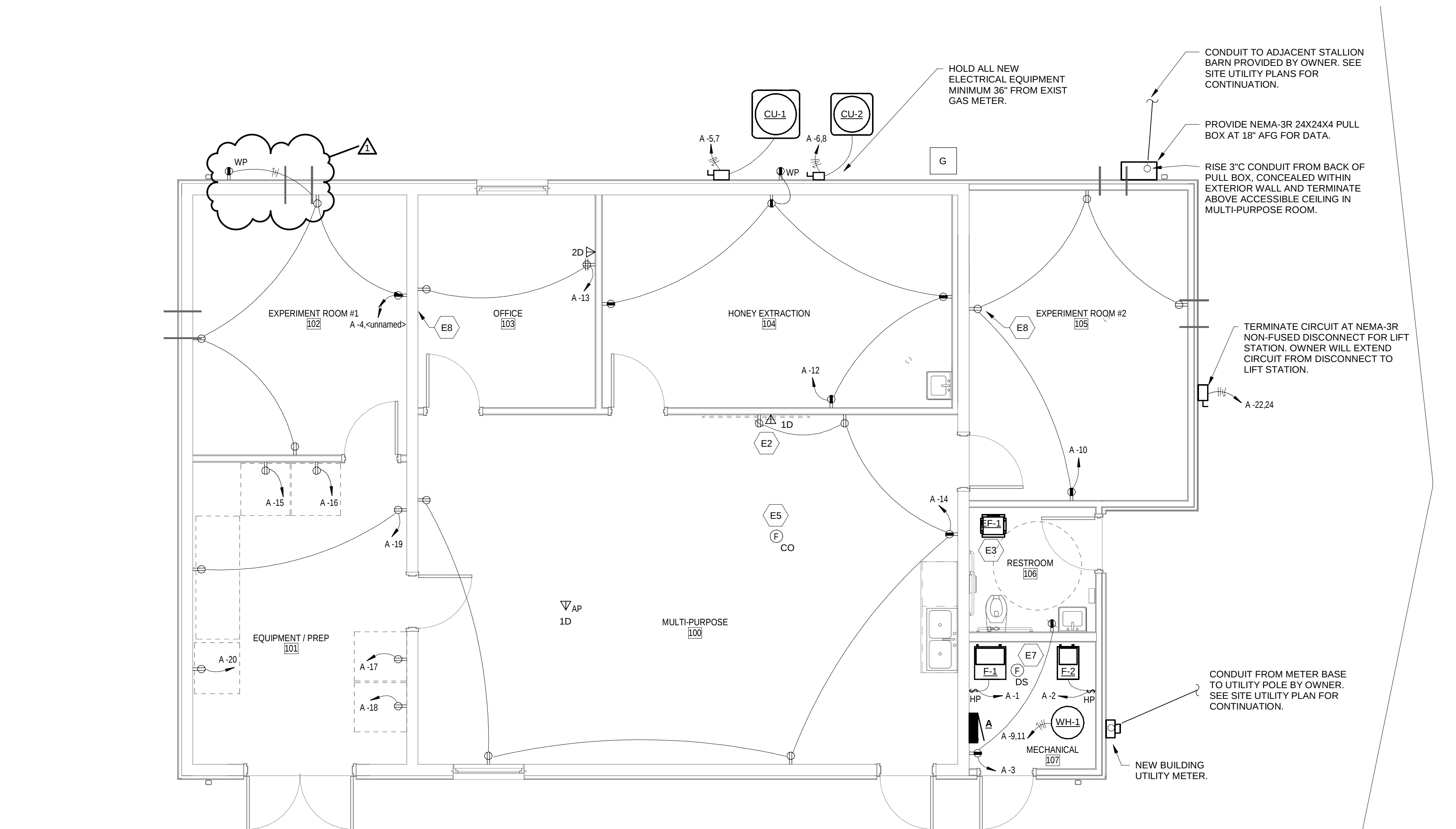
SU102

THE LINE SHOWN ABOVE IS
BLACK AND WHITE. IT IS PRINTED
CORRECTLY.



POWER AND SYSTEMS DEMOLITION

1/4" = 1'-0"



POWER AND SYSTEMS PLAN

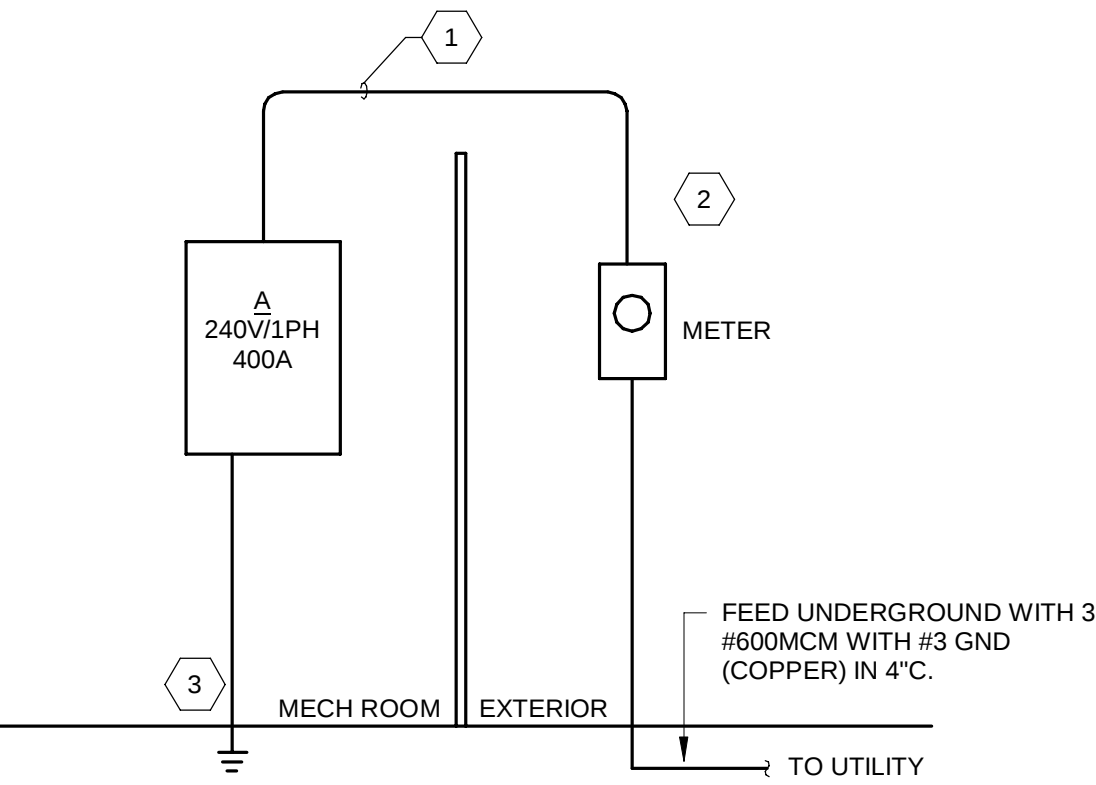
1/4" = 1'-0"

SHEET NOTES

- E2 INSTALL POWER & DATA OUTLET CONCEALED BEHIND TV. FIELD COORDINATE EXACT LOCATION OF TV WITH ARCHITECT PRIOR TO ROUGH-IN.
- E3 FEED EXHAUST FAN FROM LIGHTING CIRCUIT THIS ROOM, CONTROL VIA LIGHT SWITCH OCCUPANCY SENSOR.
- E5 PROVIDE STAND-ALONE COMBO SMOKE AND CO DETECTOR EQUAL TO KIDDE MODEL 12010SCO. FEED FROM ROOM'S RECEPTACLE CIRCUIT.
- E7 PROVIDE STAND-ALONE RETURN DUCT SMOKE DETECTOR EQUAL TO SIMPLEX MODEL 4096-9687. INSTALL DETECTOR IN ACCESSIBLE LOCATION. UPON DETECTION OF SMOKE, FAN SHALL SHUT OFF.
- E8 RECEPTACLES INSTALLED EXIST CMU WALLS SHALL BE IN SURFACE MOUNTED RACEWAY EQUAL TO WIREMOLD 2400 SERIES. RACEWAY COLOR SELECTED BY ARCHITECT.

GENERAL NOTES

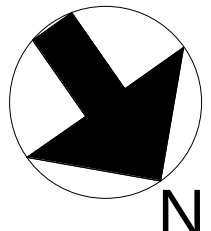
- A. REFER TO ARCHITECTURAL ELEVATIONS AND CASEWORK DRAWINGS FOR COORDINATION OF DEVICE LOCATIONS PRIOR TO ROUGH-IN.
- B. PROVIDE ROUGH-IN J-BOX WITH 1" C TO ACCESSIBLE CEILING SPACE FOR ALL WIRELESS ACCESS POINTS (WAP). COORDINATE WAP LOCATIONS WITH OWNER IT REPRESENTATIVE PRIOR TO ROUGH-IN.
- C. PROVIDE HEAVY DUTY, NON-FUSED (UON), EQUIPMENT DISCONNECT FOR ALL POWERED HVAC, PLUMBING, AND ELECTRICAL EQUIPMENT. DISCONNECT SHALL HAVE AMPACITY AND VOLTAGE CHARACTERISTICS TO MEET EQUIPMENT ELECTRICAL REQUIREMENTS. PROVIDE NEMA 3R OUTDOORS, UON.
- D. PROVIDE ROUGH-IN FOR ALL OF OWNER'S SECURITY SYSTEM DEVICES, ACCESS CONTROL SYSTEMS, DATA/INTERNET SYSTEMS. COORDINATE ALL DEVICE LOCATIONS AND REQUIREMENTS WITH OWNER IT REPRESENTATIVE PRIOR TO ROUGH-IN.
- E. COORDINATE ALL DATA CONDUIT ROUTES WITH OWNER'S IT REPRESENTATIVE PRIOR TO ROUGH-IN.
- F. PROVIDE VINYL LABEL ON COVER PLATE OF EACH RECEPTACLE IN PROJECT AREA INDICATING PANEL AND PANEL SPACE NUMBER FEEDING RECEPTACLE.
- G. LOCATIONS OF ELECTRICAL CONNECTIONS AND LOCAL DISCONNECTS SHALL BE COORDINATED WITH MECHANICAL AND PLUMBING CONTRACTORS TO ENSURE ACCESS AND WORKING CLEARANCE IS MAINTAINED PER NEC. NOTIFY OTHER TRADES OF REQUIRED CLEARANCE AREAS TO AVOID ROUTING OF OTHER SYSTEMS IN THESE AREAS. DO NOT INSTALL ELECTRICAL EQUIPMENT OVER EQUIPMENT NAMEPLATES OR ACCESS PANELS OR THROUGH ACCESS/MAINTENANCE CLEARANCES OF EQUIPMENT BY OTHER TRADES.



- RISER TAGGED NOTES:
- 3#600MCM WITH #3 GND IN 4" (COPPER)
 - PROVIDE NEW METER ON EXTERIOR WALL AS DIRECTED BY LOCAL UTILITY. PROVIDE COMPLETE INSTALLATION IAW LOCAL UTILITY REQUIREMENTS. CONTRACTOR SHALL INCLUDE ALL COSTS TO SERVE THE BUILDING IN HIS BID PRICE.
 - PROVIDE GROUNDING SYSTEM IAW NEC.

1 ELECTRICAL POWER RISER DIAGRAM

NOT TO SCALE



SCALE: 1/4" = 1'-0"



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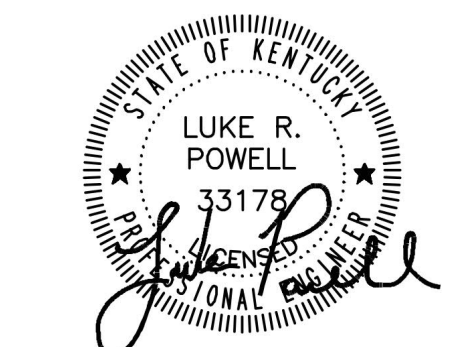
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Checked By LRP

E102