



REQUEST FOR PROPOSALS

UK-2519-25

EV Charging

ADDENDUM # 4

6/16/2025

ATTENTION: This is not an order. Read all instructions, terms and conditions carefully.

IMPORTANT: RFP AND ADDENDUM MUST BE RECEIVED BY 6/26/2025 @ 3:00 P.M. LEXINGTON, KY TIME

Offeror must acknowledge receipt of this and any addendum as stated in the Request for Proposals.

This addendum is being released to answer questions from the site visit dated Tuesday June 3, 2025. This addendum also provides Parking structure plans, diagrams, and the sign in sheet from attendees of the site visit.

***** Note: This addendum also corrects in all sections of RFP UK-2519-25, that electricity will be provided by The University of Kentucky to each site. It will not be the responsibility of the offeror to provide electricity to sites. *****

OFFICIAL APPROVAL
UNIVERSITY OF KENTUCKY

A handwritten signature in black ink, appearing to read 'David D. Stefanic', written over a horizontal line.

6/16/2025

David D. Stefanic / Procurement Manager / 859-257-5792

SIGNATURE

Typed or Printed Name

University of Kentucky
Procurement Services
322 Peterson Service Building
Lexington, KY 40506-0005

An Equal Opportunity University



Written Questions and Answers

Post Site Visit

EV Charging
RFP UK-2519-25

No.	Question	Answer
1	Will parking passes be granted to the awarded contractor or will those need to be purchased and included in the bid? - If yes, how many will be allowed per contractor?	Refer to #3
2	What is the estimated start date for Phase #1, Phase #2, and Phase #3? - What would UK like the completion date to be?	Please reference the phases in the RFP. The first phase is (UK Healthcare, Sports Center and Markey Cancer Center.) We would like the Healthcare garage to be the first to complete. Next would be the Sports Center Garage and then finally the Markey Cancer Center for phase 1. We'd like the Healthcare Garage and the Sports Center Garage to be completed July 2026. The Markey Cancer Center Garage is scheduled to be completed, and work would commence after it is completed tentatively January 2027. If possible, the Student Center as part of phase 2 could be completed prior to the Markey Cancer Center garage. We would like the proposed candidates to tell us what they propose on dates of completion in the other phases.
3	Can the awarded contractor park in the EV parking spaces while performing the install?	Yes, but this would need to be worked out in advance. In other words, UK Transportation would assign day passes that would cover this work on specific agreed upon dates.

4	When will the awarded contractor be allowed to begin work in: - Parking Structure #8 - Parking Structure #7 (aka Sports Center Garage – currently under construction) - Student Centre Surface Lot	UK Transportation has the electric installed in PS#8 and PS#7. We will coordinate start dates but soon after the contract is awarded. In terms of the Student Center parking visitor lot, UK Transportation will need to work to get electric in that location so that start date is to be determined.
5	Will the current contractors working on Parking Structure #8 and #7 provide a means of disconnect to the EV charging locations as they bring power to those areas, or will the awarded EV contractor be responsible for this?	Yes
6	Which parking garages in all phases have post-tension construction? (We understood during the walkthrough that this may not have been confirmed.)	All parking garages that you will be working in all three phases will be post-tension.
7	During the walkthrough of Parking Structure #8, additional drawings were referenced. These have not been made available to bidding contractors—can we obtain those drawings, and are there similar materials for Parking Structure #7?	See Addendum #4
8	Are there any as-built drawings available for the Student Centre Surface Lot?	We will bring the electric to the site. We have attached a layout of the site.
9	Are there as-built drawings available for Parking Structure #7?	Not at this time, all electric will be provided to locations by the university.
10	Where exactly within the Student Centre Surface Lot will the EV chargers be installed?	UK Transportation will work to bring the power to the proposed area and let the proposed contracted partner know the location.
11	Will boring be permissible at the Student Centre Surface Lot?	The contracted partner will work with UK Transportation and the University's Facilities Management Team to do any boring work.
12	What is the panel capacity at the Student Centre Surface Lot?	We will bring electricity to the site.
13	Addendum #2 notes that as-built drawings for Phases 2 and 3 are available. Could you please provide those? Without documentation on service sizes, available voltages (480V, 240V, 208V), and gear/panel schedules, it's difficult to estimate available capacity or required upgrades.	See #12
14	Based on our walkthrough of Phase #1 locations, can you confirm which buildings,	See section 2.1 intent and scope of RFP.

	garages, or lots are to be included in Phase #2 and Phase #3?	
15	For Phase #2 and #3, can you confirm where chargers will be installed and where the nearest electrical panels are located that can support the expected amperage?	The University of Kentucky will provide power to all locations for the EV Charging stations.
16	Addendum #2 specifies 3 dual-port chargers per garage for Phase #1, but during the walkthrough it was mentioned there would be 4 dual-port chargers. Can you confirm whether it is 3 or 4 per location?	Three (3) Dual level 2 chargers requested per section 2.1 of RFP.
17	Addendum #2 mentions that power will be in place for Phase #1, but it was also stated that the general contractors were “asked” to provide it. Can you confirm whether the awarded contractor will be responsible for running conduit and wire to power the EV chargers?	The University of Kentucky will provide power to all locations for the EV Charging stations.



SHEET 1 OF 5	<div style="display: flex; justify-content: space-between; align-items: center;"> <div style="width: 40%;"> DRAWN BY: _____ RR: _____ DATE: _____ 11-1-2006 </div> <div style="width: 50%; text-align: center;"> <h2 style="margin: 0;">PARKING STRUCTURE #6</h2> </div> <div style="width: 10%; text-align: right;"> BLDG #: 0571 </div> </div> <div style="width: 40%; padding-top: 10px;"> REVISED BY: _____ NER: _____ DATE: _____ 09-06-19 </div>
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SHEET 1 OF 5	<div style="display: flex; justify-content: space-between; align-items: center;"> <div style="width: 40%;"> DRAWN BY: _____ RR: _____ DATE: _____ 11-1-2006 </div> <div style="width: 50%; text-align: center;"> <h2 style="margin: 0;">PARKING STRUCTURE #6</h2> </div> <div style="width: 10%; text-align: right;"> BLDG #: 0571 </div> </div> <div style="width: 40%; padding-top: 10px;"> REVISED BY: _____ NER: _____ DATE: _____ 09-06-19 </div>
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SHEET 1 OF 5	<div style="display: flex; justify-content: space-between; align-items: center;"> <div style="width: 40%;"> DRAWN BY: _____ R/R: _____ DATE: _____ 11-1-2016 </div> <div style="width: 50%; text-align: center;"> <h2 style="margin: 0;">PARKING STRUCTURE #6</h2> </div> <div style="width: 10%; text-align: right;"> BLDG #: 0571 </div> </div> <div style="width: 40%; padding-top: 10px;"> REVISED BY: _____ N/R: _____ DATE: _____ 09-06-19 </div>
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SHEET 1 OF 5	<div style="display: flex; justify-content: space-between; align-items: center;"> <div style="width: 40%;"> DRAWN BY: _____ R/R: _____ DATE: _____ 11-1-2016 </div> <div style="width: 50%; text-align: center;"> <h2 style="margin: 0;">PARKING STRUCTURE #6</h2> </div> <div style="width: 10%; text-align: right;"> BLDG #: 0571 </div> </div> <div style="width: 40%; padding-top: 10px;"> REVISED BY: _____ N/R: _____ DATE: _____ 09-06-19 </div>
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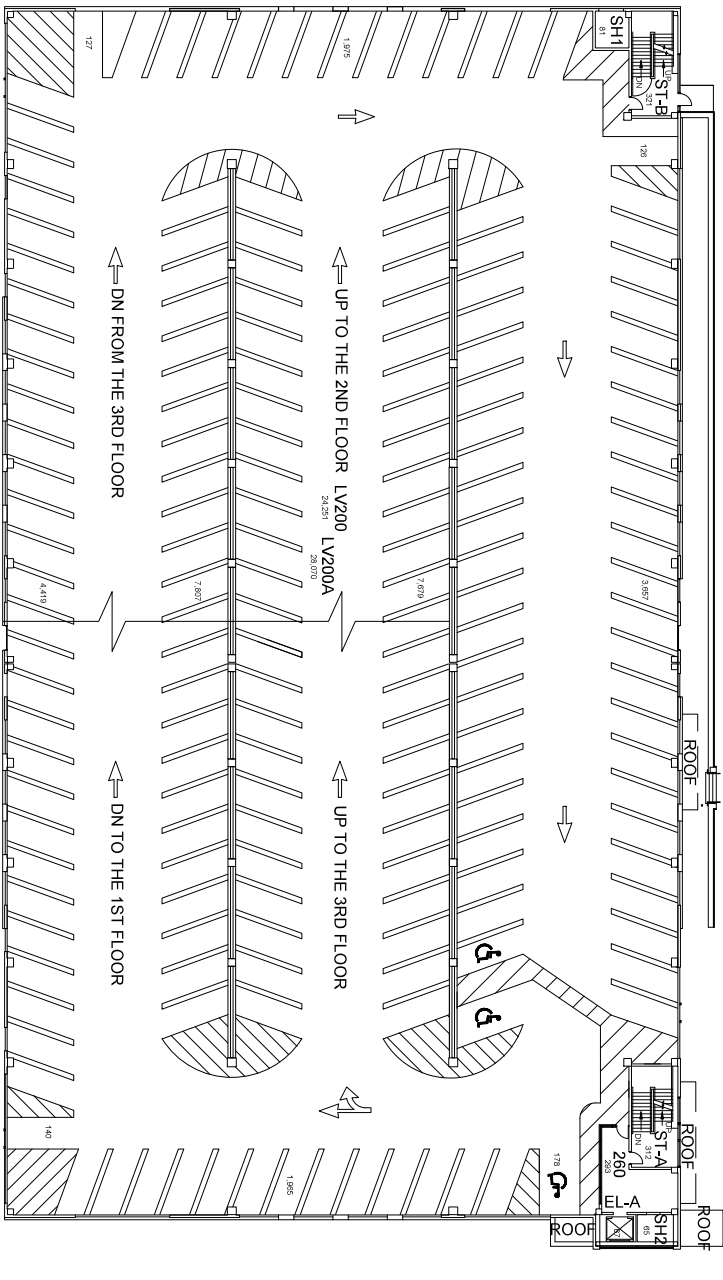
BLDG #:
0571

PARKING STRUCTURE #6

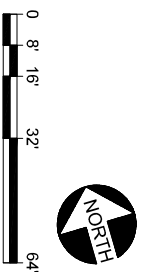
DRAWN BY:
RR
DATE:
11-16-06

REVISED BY: _____
NEK
DATE: _____
09-06-19

SHEET
2 OF 5

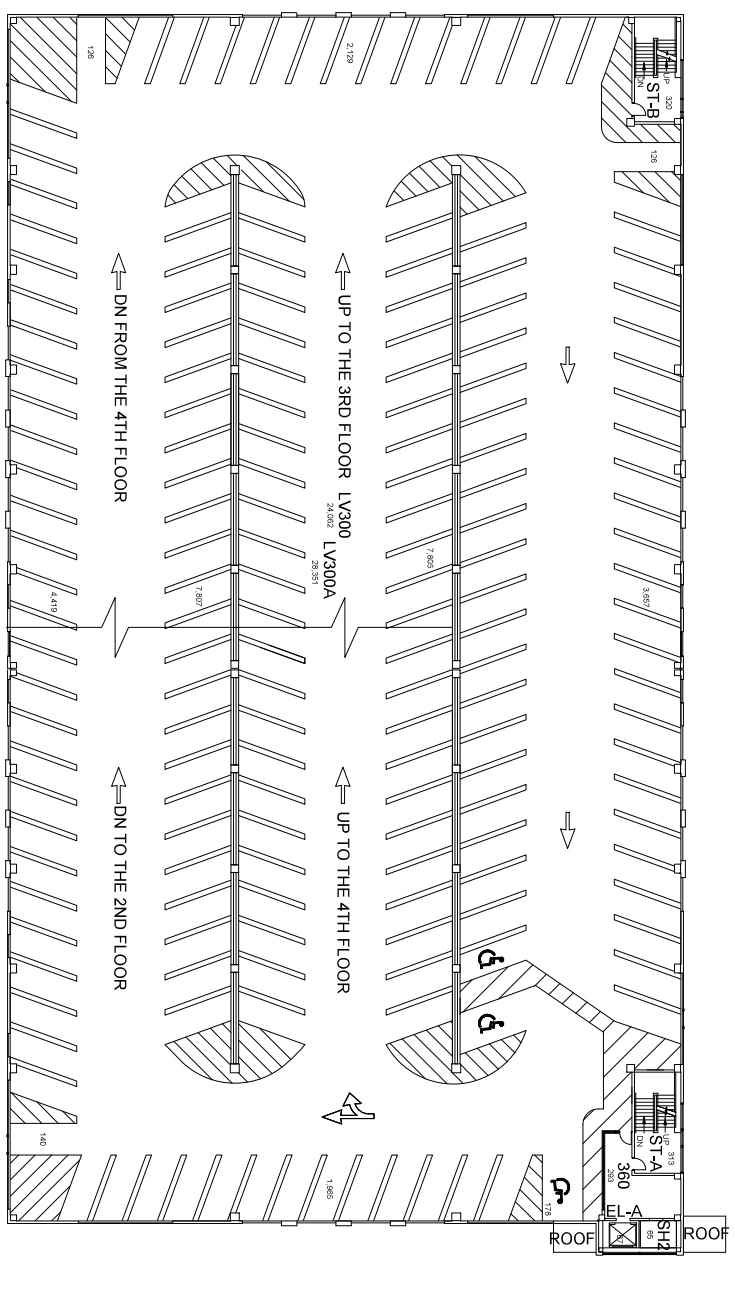


SECOND FLOOR PLAN PARKING STRUCTURE #6

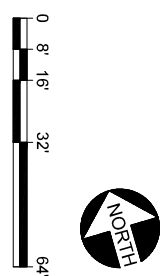


PARKING STRUCTURE #6

DRAWN BY: R	REMOVED BY: NEK
DATE: 11-16-05	DATE: 09-06-19
SHEET 3 OF 5	



THIRD FLOOR PLAN PARKING STRUCTURE #6 54,361 Gross Square Ft.



BLDG #:
0571

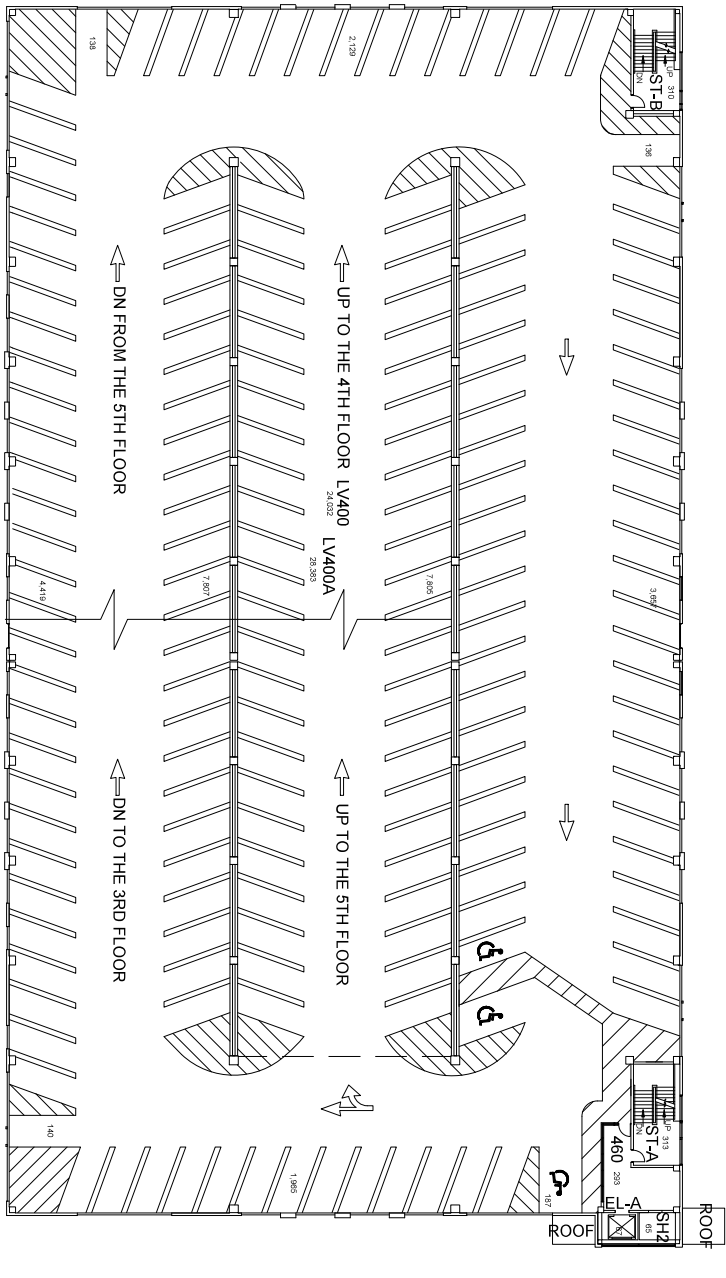
PARKING STRUCTURE #6

DRAWN BY:
RR
DATE:
11-16-06

REVISED BY:
NEK
DATE: _____
09-06-19

SHEET

4 OF 5

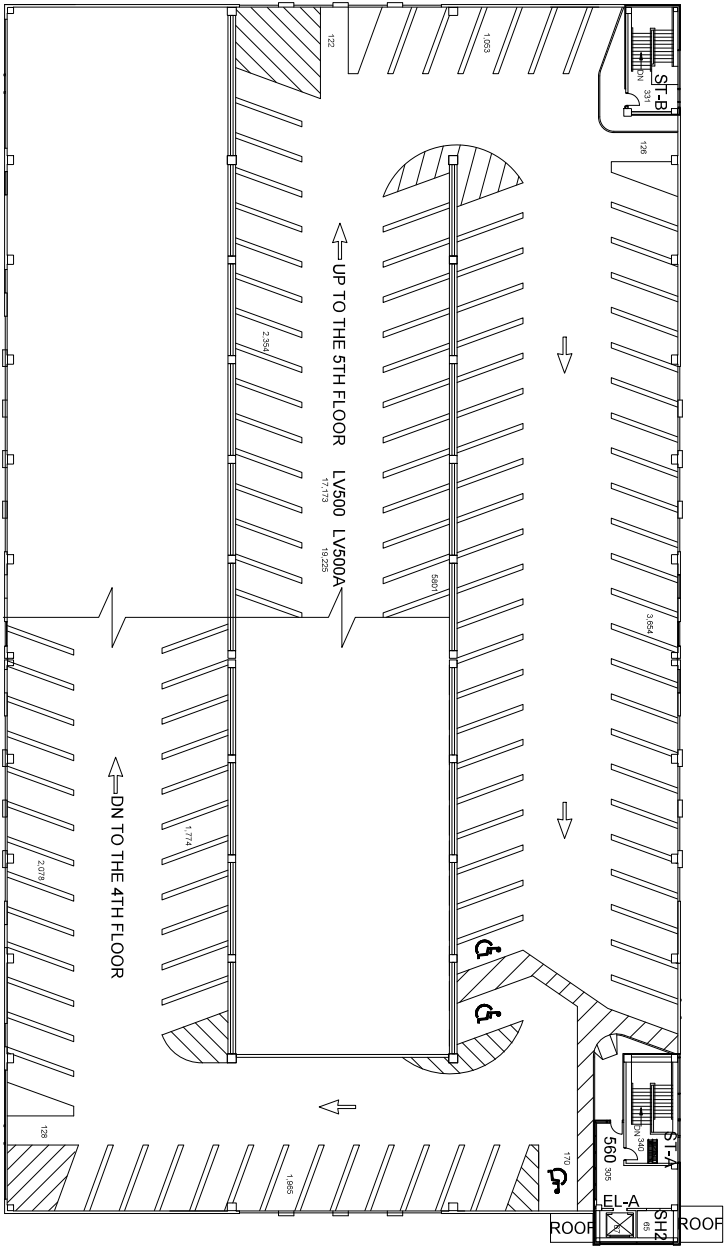


**FOURTH FLOOR PLAN
PARKING STRUCTURE #6**
54,361 Gross Square Ft.



FIFTH FLOOR PLAN PARKING STRUCTURE #6

39,237 Gross Square Ft.

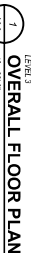


PARKING STRUCTURE #6

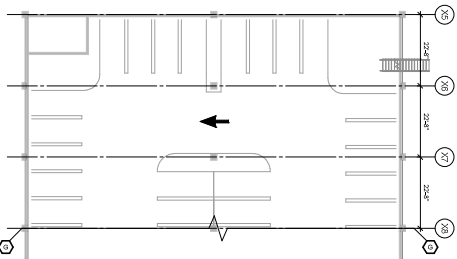
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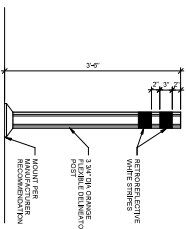
DRAWN BY: R	REVISIED BY: NEK
DATE: 11-16-05	DATE: 09-06-19
SHEET 5 OF 5	

REVISIONS

PARTIAL GROUND TIER ENLARGED STRIPING PLAN

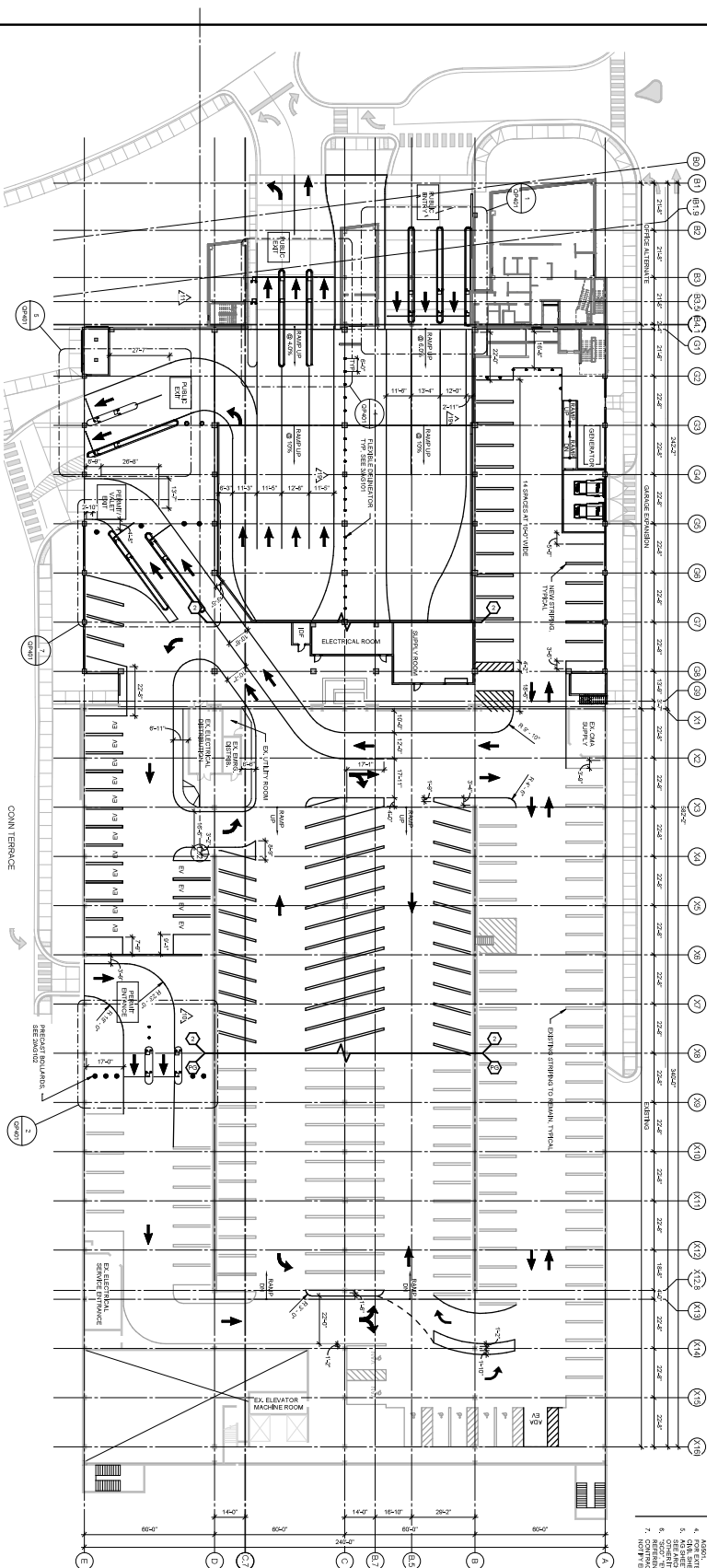


3 FLEXIBLE DELINEATOR



1 GROUND TIER STRIPING PLAN

		PAVING SCHEDULE				ENTIRE	
		ACCESSIBLE	ACCESSIBLE	ACCESSIBLE	ACCESSIBLE	ACCESSIBLE	
		COMPACT	STANDARD	STANDARD	COMPACT	STANDARD	
2007	1	0	0	0	0	0	
2008	2	0	0	0	0	0	
2009	3	0	0	0	0	0	
2010	4	0	0	0	0	0	
2011	5	0	0	0	0	0	
2012	6	0	0	0	0	0	
2013	7	0	0	0	0	0	
2014	8	0	0	0	0	0	
2015	9	0	0	0	0	0	
2016	10	0	0	0	0	0	
2017	11	0	0	0	0	0	
2018	12	0	0	0	0	0	
2019	13	0	0	0	0	0	
2020	14	0	0	0	0	0	
2021	15	0	0	0	0	0	
2022	16	0	0	0	0	0	
2023	17	0	0	0	0	0	
2024	18	0	0	0	0	0	
2025	19	0	0	0	0	0	
2026	20	0	0	0	0	0	
2027	21	0	0	0	0	0	
2028	22	0	0	0	0	0	
2029	23	0	0	0	0	0	
2030	24	0	0	0	0	0	
2031	25	0	0	0	0	0	
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2067	61	0	0	0	0	0	
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2110	104	0	0	0	0	0	
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2117	111	0	0	0	0	0	
2118	112	0	0	0	0	0	
2119	113	0	0	0	0	0	
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2157	151	0	0	0	0	0	
2158	152	0	0	0	0	0	
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2160	154	0	0	0	0	0	
2161	155	0	0	0	0	0	
2162	156	0	0	0	0	0	
2163	157	0	0	0	0	0	
2164	158	0	0	0	0	0	
2165	159	0	0	0	0	0	
2166	160	0	0	0	0	0	
2167	161	0	0	0	0	0	
2168	162	0	0	0	0	0	
2169	163	0	0	0	0	0	
2170	164	0	0	0	0	0	
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2172	166	0	0	0	0	0	
2173	167	0	0	0	0	0	
2174	168	0	0	0	0	0	
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2203	197	0	0	0	0	0	
2204	198	0	0	0	0	0	
2205	199	0	0	0	0	0	
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2207	201	0	0	0	0	0	
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2241	235	0	0	0	0	0	
2242	236	0	0	0	0	0	
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2244	238	0	0	0	0	0	
2245	239	0	0	0	0	0	
2246	240	0	0	0	0	0	
2247	241	0	0	0	0	0	
2248	242	0	0	0	0	0	
2249	243	0					



SHEET NOTES

1. **STRIPS** - HIGHLIGHTS PLANTING ORDER.
2. **SERIES OF PLANTING STRIPS** - SEE STRUCTURAL, PG. 100
3. FOR TYPICAL STRIPPING AND ARROW DETAILS, SEE AGS01.
4. FOR EXTERIOR CEMENTALTS, CURB CUTS, ETC., SEE CIVIL SHEETS.
5. AG SHEETS ARE FOR STRIPPING AND STORAGE ONLY.
6. SEE ARCHITECTURAL DRAWINGS (A-SERIES) FOR A "CUT" - "NO SIGN, B" AND "CUT" TEXT IS FOR REFERENCE ONLY. NOT TO BE PRINTED ON FLOOR. CONTRACTOR TO VERIFY EXISTING STRIPPING, NOTIFY ENGINEER OF DISCREPANCIES.



6902 E. 75th Street, Suite 210
Indianapolis, IN 46250
317.642.0090 Ph
www.walkerconsulting.com



Lexington, KY 40508
859.252.8781



101 S. Pennsylvania St.
Indianapolis, IN 46204
317 633 4040



3264 Loch Ness Drive,
Lexington, KY 40517
859.271.3265



RESERVED FOR AHJ STAMP



Lexington, KY 40505

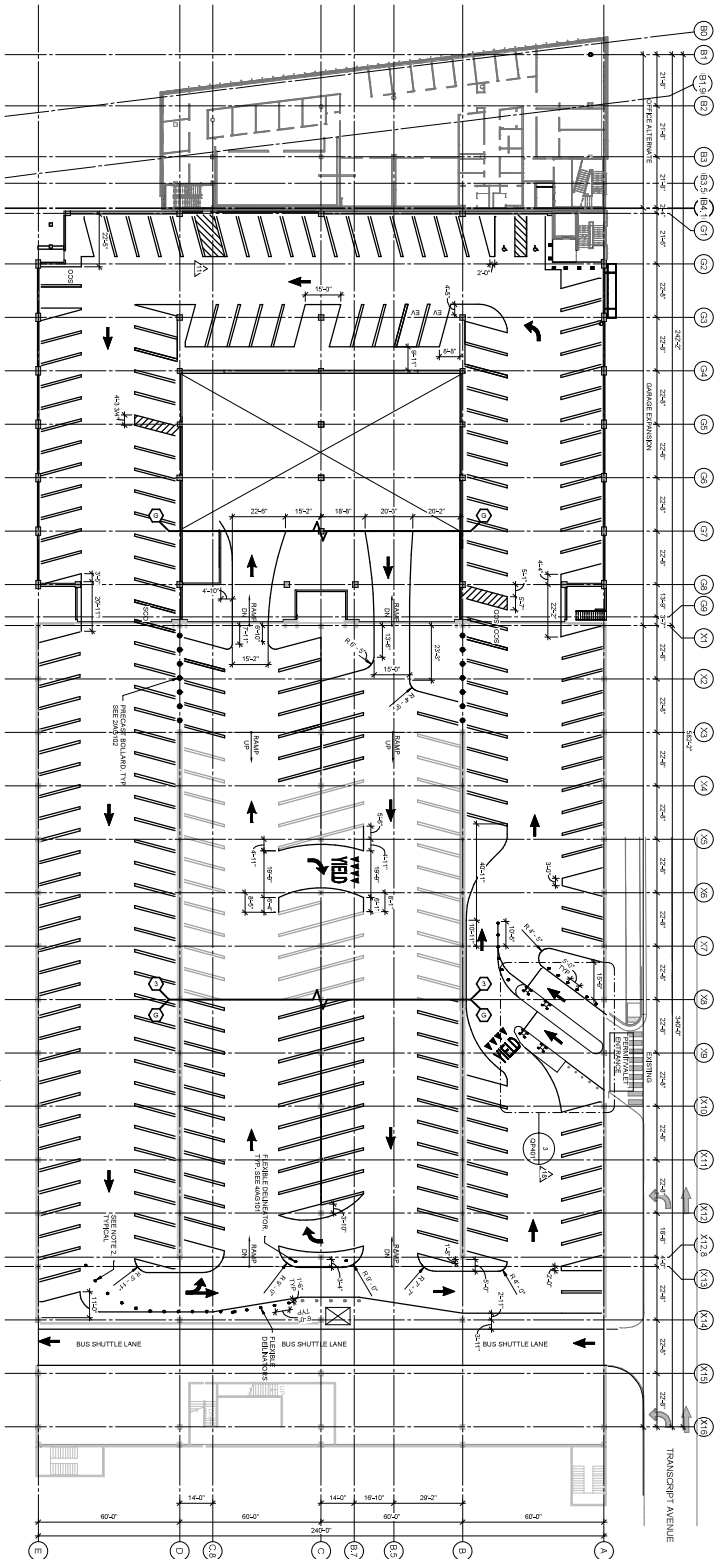
UNIVERSITY OF KENTUCKY
PS-8 EXPANSION

110 TRANSCRIPT AVE.
PARKING STRUCTURE #6
LEXINGTON, KY 40506
UK PROJECT NUMBER: 2565.00

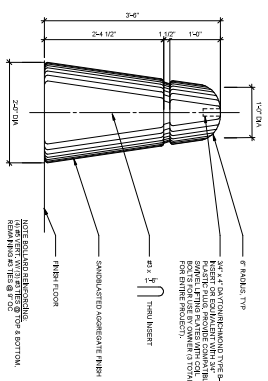
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GROUND TIER STRIPING PLAN

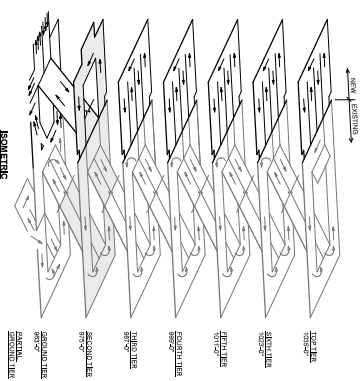
AG101



1 SECOND TIER STRIPING PLAN

[illegible]

2 PRECAST CONCRETE BOLLARD



- ## SHEET NOTES



ARCHITECT OF RECORD



3225 Summit Square NW # 200,
Lexington, KY 40503
606.583.0000



101 W. Washington St.,
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659.271.3266

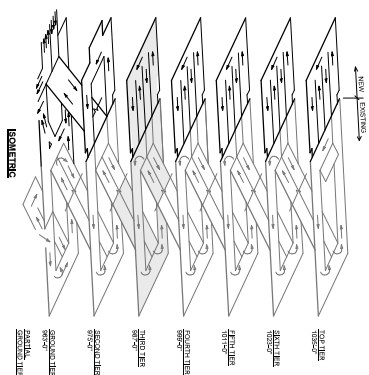
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PS-8 EXPANSION

PARKING STRUCTURE #8
LEXINGTON, KY 40508
UK PROJECT NUMBER: 2565.0

SHEET TITLE:
SECOND TIER STRIPING
PLAN

AG102

[illegible]

1. SEE SHEET AG101 FOR TYPICAL SHEET NOTES AND DETAILS.
2. REMOVE EXISTING BOLLARDS AFTER CONVERSION TO PERMIT PARKING. REAM THREADED RODS TO T-BELOW SLAB SURFACE. FILL WITH SEALANT.

1. SEE SHEET AG101 FOR TYPICAL SHEET NOTES AND DETAILS.
2. REMOVE EXISTING BOLLARDS AFTER CONVERSION TO PERMIT PARKING. REAM THREADED RODS TO T₁ BELOW SLAB SURFACE. FILL WITH SEALANT.



JRA
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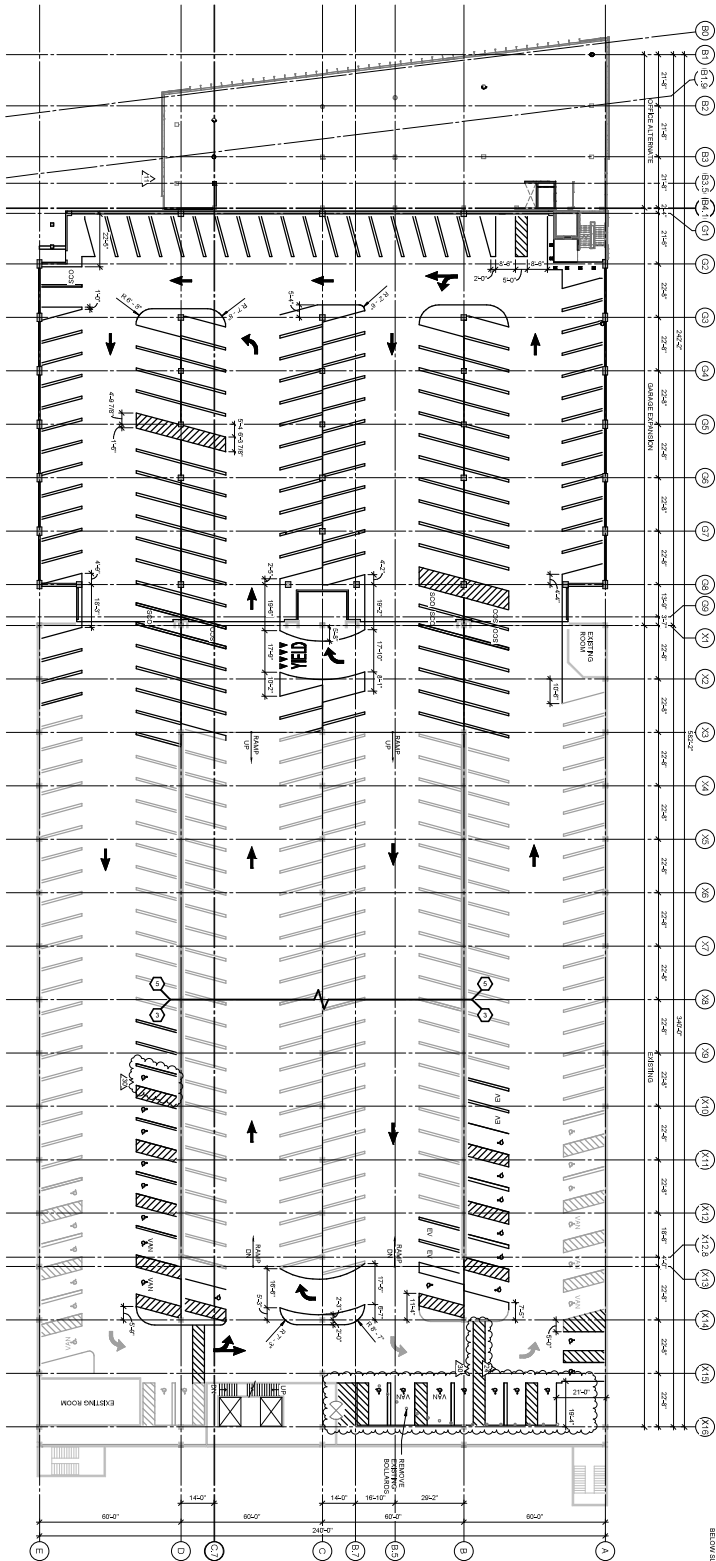
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110 TRANSCRIPT AVE.
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LEXINGTON, KY 40505
UK PROJECT NUMBER: 2665.0

THIRD TIER STRIPING PLAN

AG103

Figure 1 consists of seven 3D block diagrams illustrating the evolution of a rift basin. The diagrams are labeled from left to right: INITIAL RIFTING, SUBSIDENCE OF THE BASIN, DEPOSITION OF CLAYEY SILT, DEPOSITION OF SAND, DEPOSITION OF COARSE SAND, DEPOSITION OF COARSE SAND, and DEPOSITION OF COARSE SAND. Each diagram shows a cross-section of the basin with various geological features like faults, synclines, and different sedimentary layers. A vertical arrow on the right indicates 'SEA LEVEL'.



- ## SHEET NOTES



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3264 Leach Ness Drive,
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858.389.6533

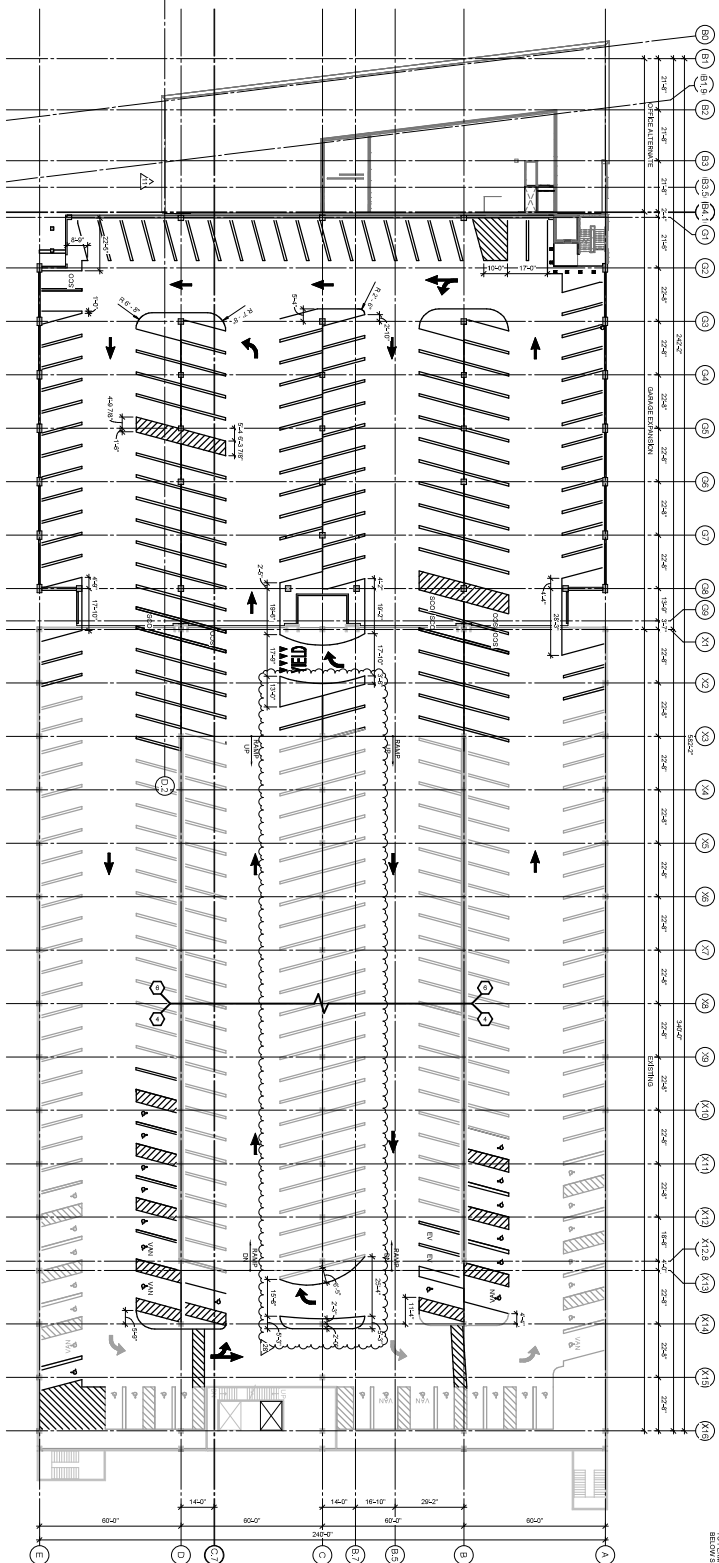
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659.257.9000UNIVERSITY OF KENTUCKY
PS-8 EXPANSION

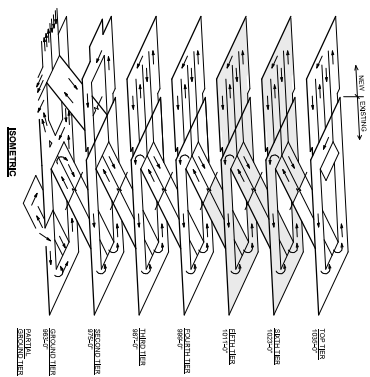
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SHEET TITLE:
**FOURTH TIER STRIPING
PLAN**



1 TYPICAL TIER STRIPING PLAN

[illegible]

- ## SHEET NOTES



ARCHITECT OF RECORD



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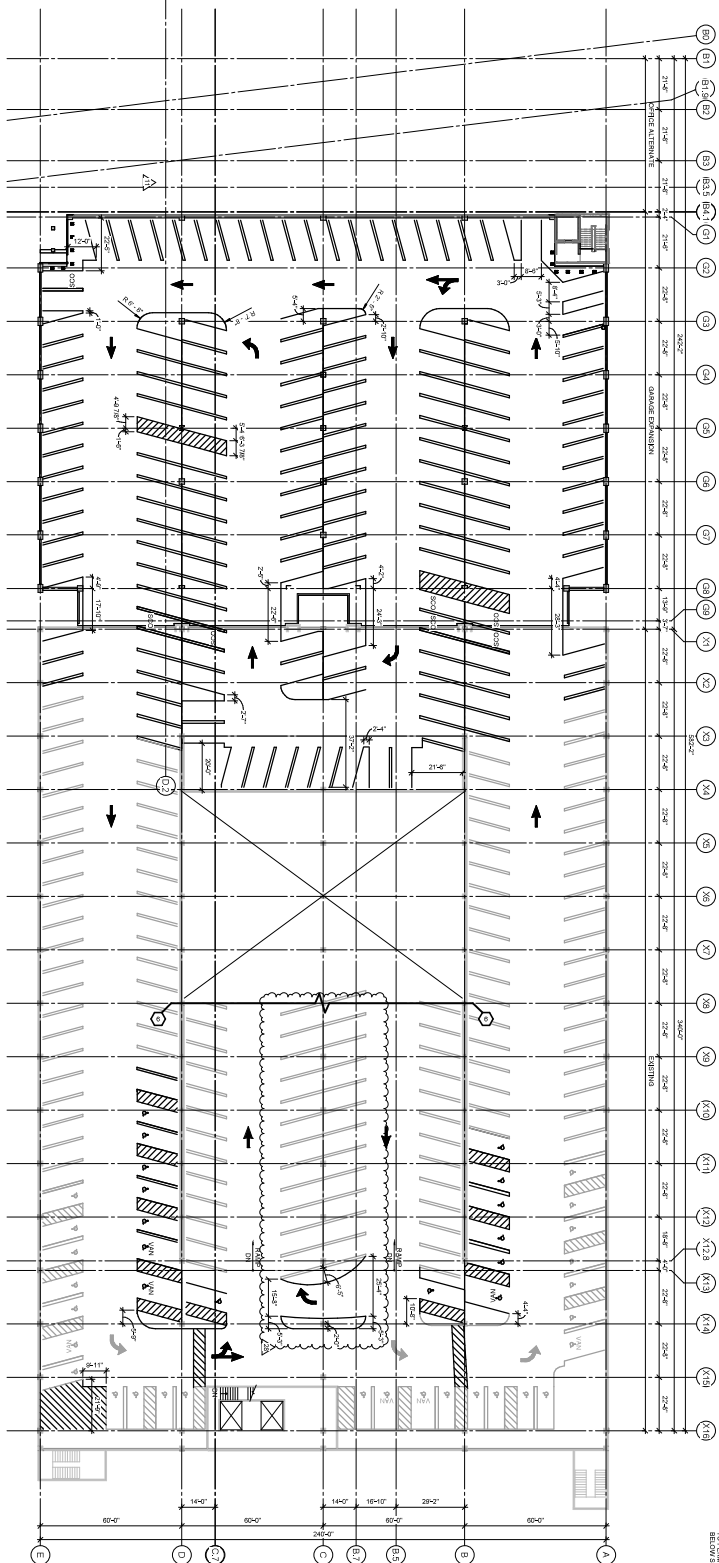
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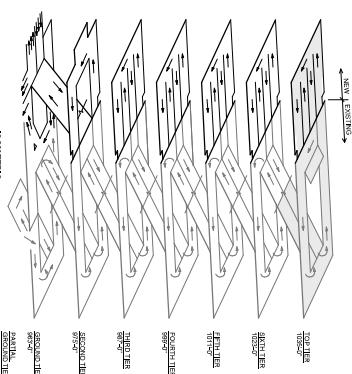
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PLAN

AG105



1 TOP TIER STRIPING PLAN
3/04" = 1'-0"

[illegible]

- ## SHEET NOTES



ARCHITECT OF RECORD

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859-253-6781

101 S. Petershagen 9

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859.271.3265

859.309.0533

UNIVERSITY OF KENTUCKY
PS-8 EXPANSION

110 HOUNSDEPI AVE,
PARKING STRUCTURE #8
LEXINGTON, KY 40505
UK PROJECT NUMBER: 2665.0

SHEET TITLE:
TOP TIER STRIPING PLAN

AG106



Floor plan is from best available information. Drawings will be updated as more information becomes available.



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0202

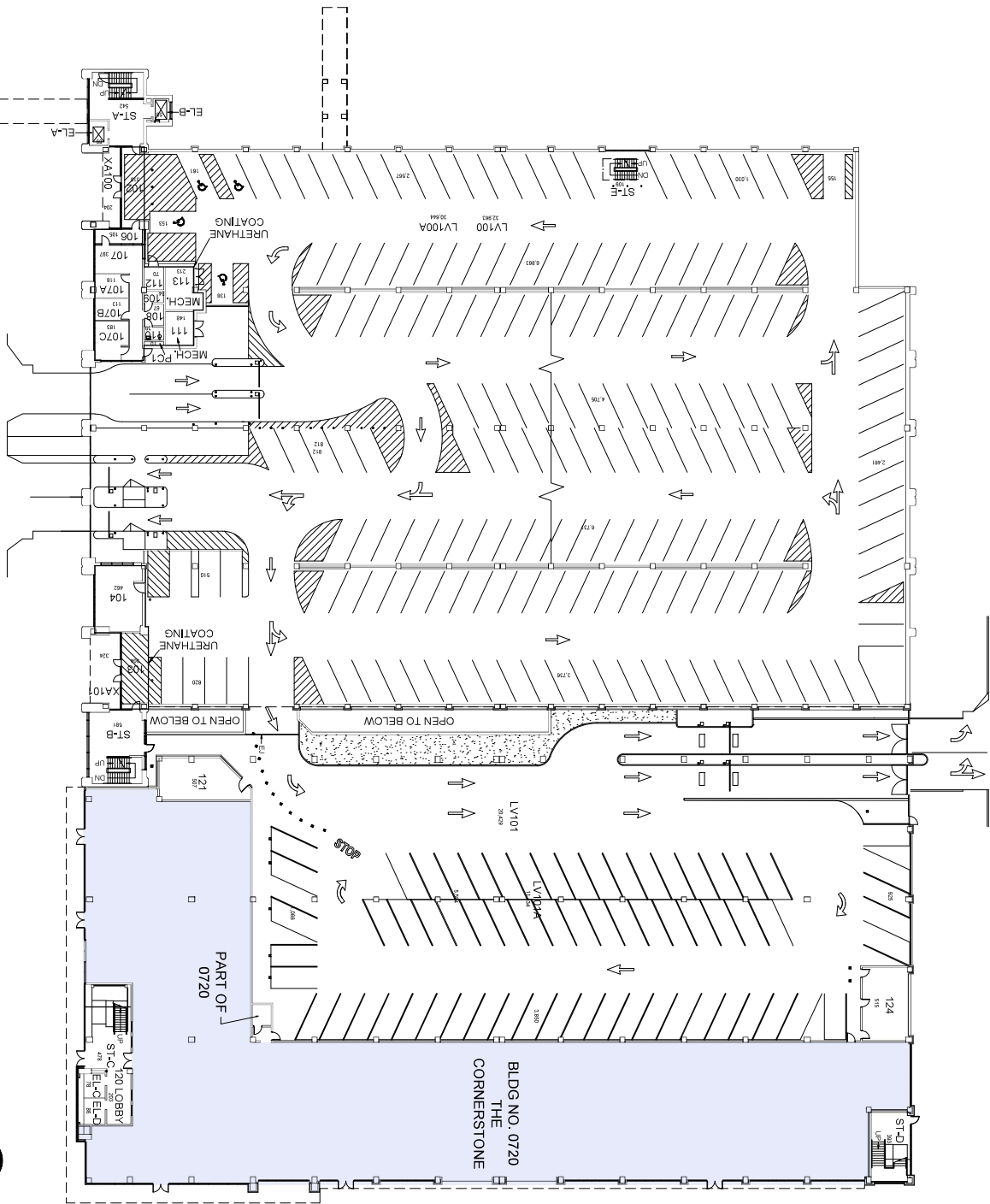
CORNERSTONE GARAGE

DRAWN BY:
JCM

DATE:
06-25-03

REMOVED BY:
JES
DATE:
10-30-20

SHEET
2 OF 9



**FIRST FLOOR PLAN
CORNERSTONE GARAGE**
105,186 Gross Square Ft.

Kentu

BLDG #:
0202

CORNERSTONE GARAGE

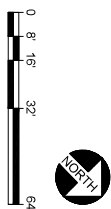
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06-25-03

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JES

10-30-20

SHEET
3 OF 9



**SECOND FLOOR PLAN
CORNERSTONE GARAGE**
126,086 Gross Square Ft.

126,086 Gross Square Ft.

University of
KentuckyBLDG #:
0202

CORNERSTONE GARAGE

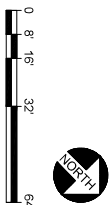
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06-25-03

REVISED BY:
JES

10-30-20

SHEET
4 OF 9



Floor plan is from best available information.
Drawings will be updated as more information
becomes available.



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Kentucky

BLDG #:
0202

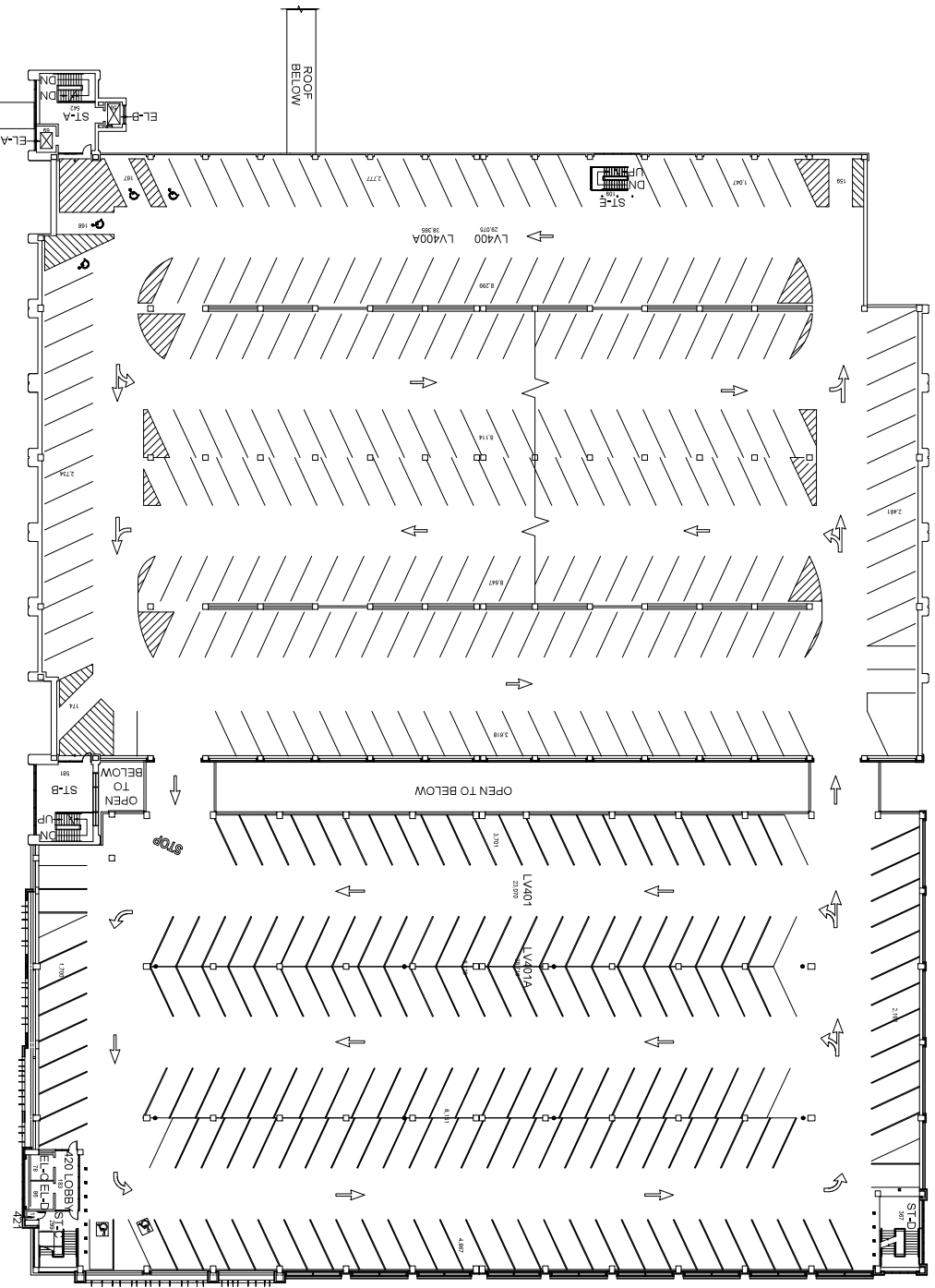
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JCM

DATE:
06-25-03

REMOVED BY:
JES
DATE:
10-30-20

SHEET
5 OF 9



FOURTH FLOOR PLAN
CORNERSTONE GARAGE
126,094 Gross Square Ft.

Floor plan is from best available information. Drawings will be updated as more information becomes available.



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Kentucky

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0202

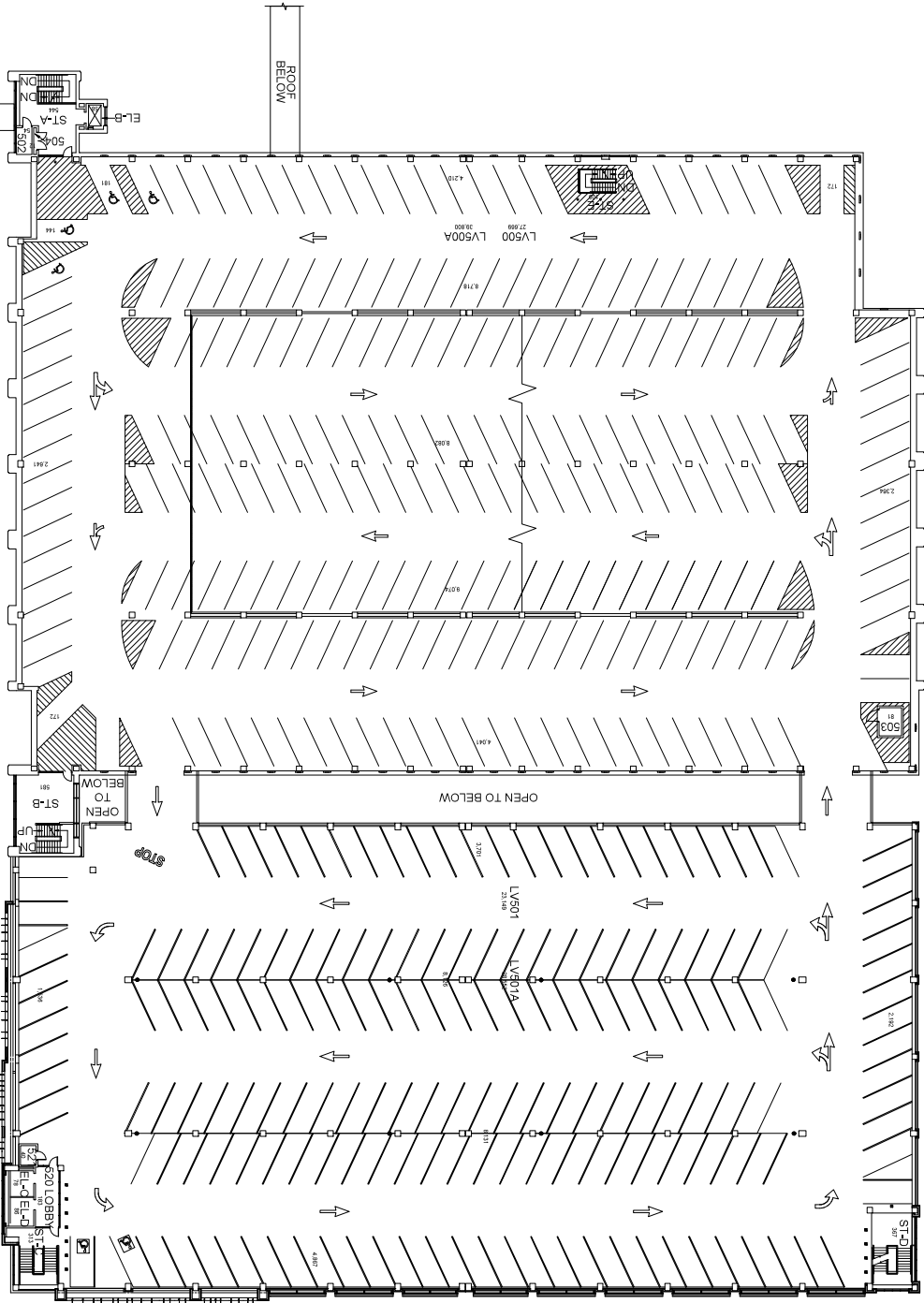
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JCM

DATE:
06-25-03

REVISED BY:
JES
DATE:
10-30-20

SHEET
6 OF 9



FIFTH FLOOR PLAN
CORNERSTONE GARAGE
126,865 Gross Square Ft.

University of
KentBLDG #:
0202

CORNERSTONE GARAGE

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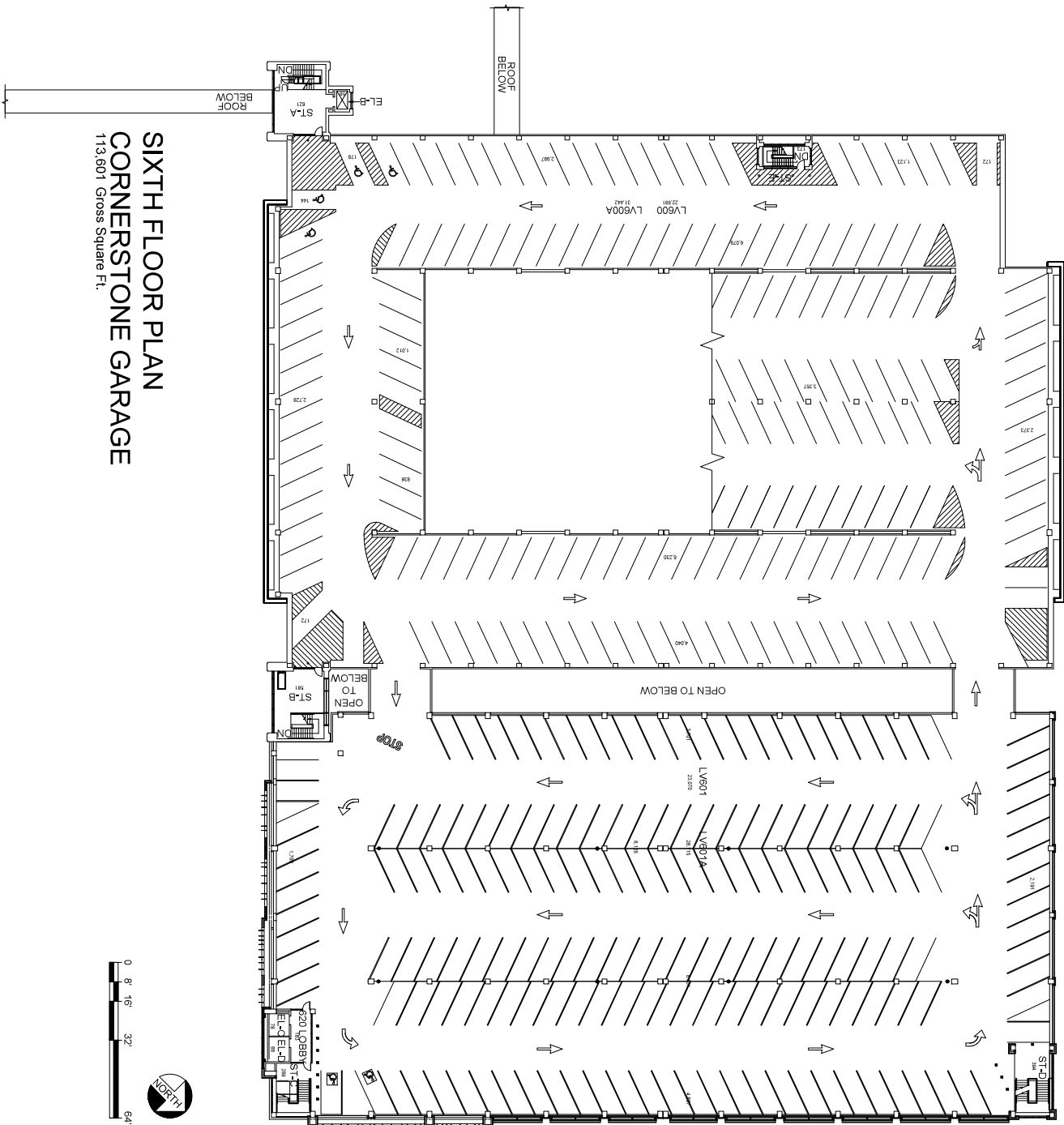
JCM

DATE:
06-25-03

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JES

10-30-20

SHEET
7 OF 9



SIXTH FLOOR PLAN
CORNERSTONE GARAGE
113,601 Gross Square Ft.

113,601 Gross Square Ft.

Floor plan is from best available information. Drawings will be updated as more information becomes available.



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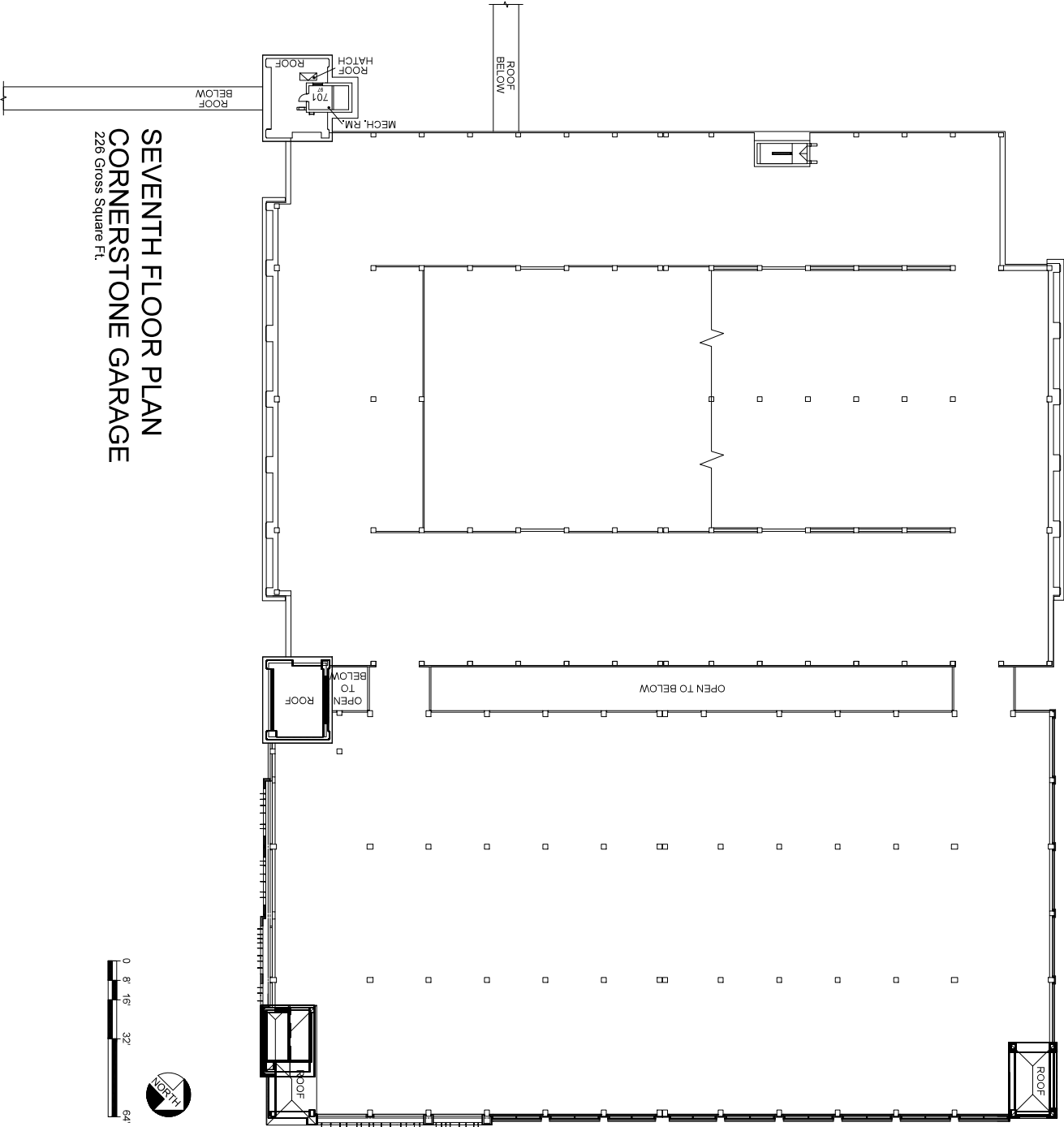
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JCM

DATE:
06-25-03

REMOVED BY:
JES

DATE:
10-30-20



**SEVENTH FLOOR PLAN
CORNERSTONE GARAGE**
226 Gross Square Ft.

Floor plan is from best available information. Drawing will be updated as more information becomes available.

BLDG #:
0202

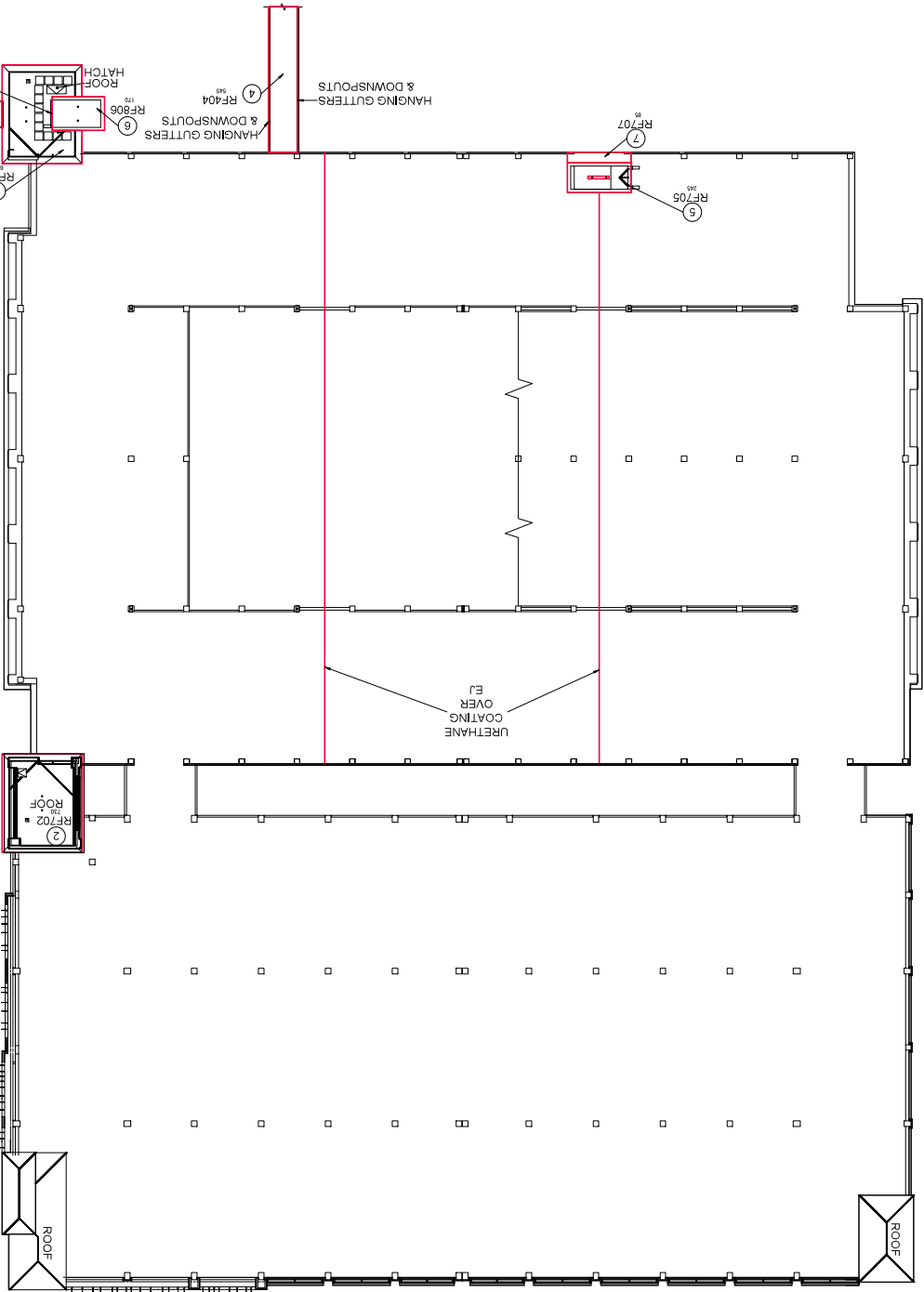
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DRAWN BY:
JCM

DATE:
06-25-03

REMOVED BY:
JES

DATE:
10-30-20



**ROOF PLAN
CORNERSTONE GARAGE**

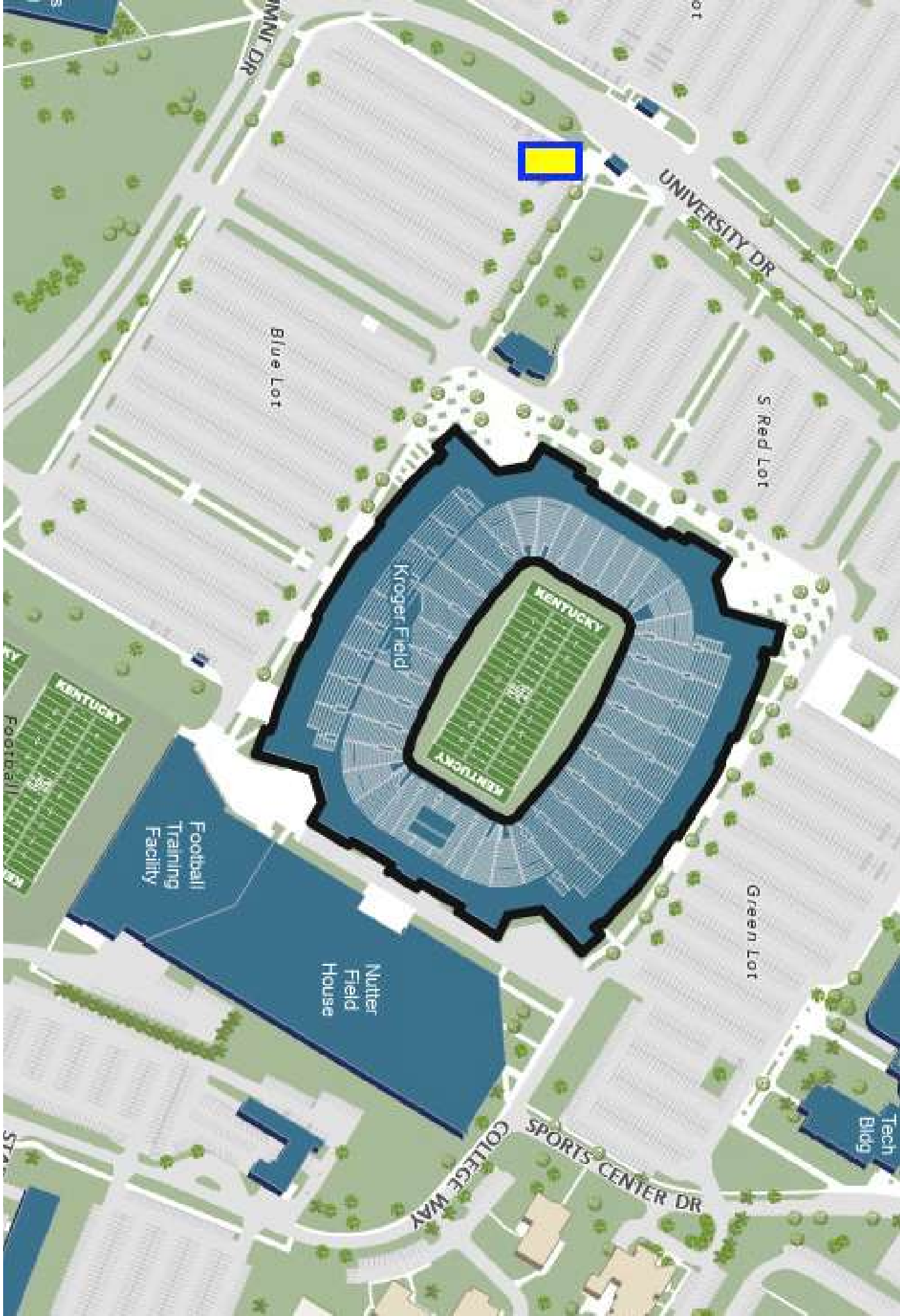
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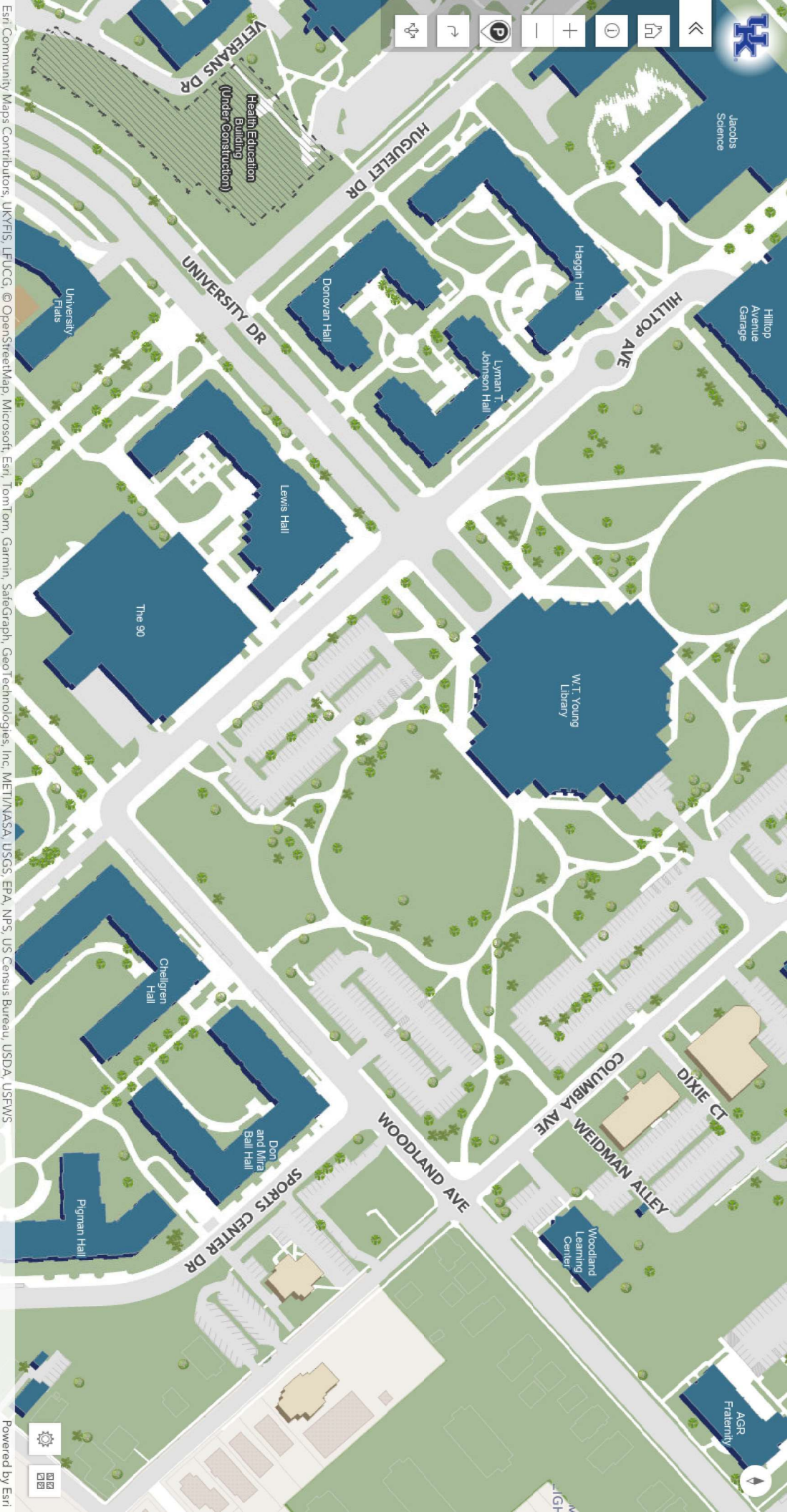
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RF703	Shallow A	Flat	930
RF704	Shallow B	Flat	546
RF705	Shallow C	Flat	1030
RF706	Shallow D	Flat	96
RF707	Shallow E	Flat	1151

Does not include The Cornerstone Garage expansion information.

LEGEND

- EXHAUST VENT
- EXHAUST FAN
- ROOF DRAIN
- ROOF HATCH
- SCUPPER
- LADDER
- SECTION NUMBER
- DOWNSPOUT
- EXPANSION JOINTS
- AREA OF URETHANE COATING [see Ground and 1st Levels]





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