



University of Kentucky[®]

Procurement Services

INVITATION FOR BIDS

CCK-2968.10-1-25

Parking Structure 3 EFIS Repairs

ADDENDUM #2

03/19/2025

IMPORTANT: BID AND ADDENDUM MUST BE RECEIVED BY: 03/25/2025 @ 3:00 P.M. LEXINGTON, KY TIME

Bidder must acknowledge receipt of this and any addendum as stated in the Invitation for Bids.

ITEM #1: UPDATES/REVISIONS TO ORIGINAL BID DOCUMENTS

- Please refer to and incorporate within the offer the enclosed additional information from the project team.

OFFICIAL APPROVAL
UNIVERSITY OF KENTUCKY

03/19/2025

Ken Scott

Ken Scott / (859) 257-9102

SIGNATURE

Typed or Printed Name



THP Limited

Addendum No. 02

Date: 3/18/2025

To the Project Manual and Drawings for:

Parking Structure 3 EIFS Repairs
UK #CCK-2968.1

Prepared by:

Luke Field, THP Limited Inc.

To:

All Bidders

This addendum supplements and modifies the Project Manual and Drawings for the above Project dated February 2025, and shall hereby be incorporated into the Work as part of the Contract Documents. Bidders shall verify this fact by indicating receipt of the Addendum in their bids.

Addendum Includes the following items:

Pre-bid Meeting:

1. Pre-Bid Meeting Sign-In Sheet
2. Pre-Bid Meeting Minutes, dated March 7, 2025.

Project Manual:

- a. No Changes

Drawings:

1. Replace Sheet 501:
 - a. Detail 1 updated to clarify location of sealant and membrane turn-up.
2. Replace Sheet 701:
 - a. Detail 4 updated to show top of through-wall scupper.

Questions:

See Pre-Bid Meeting Notes for Questions and Answers

Attachments:

1. Pre-Bid Meeting Sign-In Sheet
2. Pre-Bid Meeting Minutes, dated March 7, 2025.
3. Drawings sheets:
 - 501
 - 701

End of Addendum No. 2

PRE-BID MEETING Sign-In
 CCK-2968.0-1-25
 Parking Garage Maintenance 2025

Date/Time: 03/07/2025 -- 10:00 AM

Location: PS6 & Zoom

SIGN IN SHEET			
Name	Organization	Phone	E-mail address
JOE RUDD	CIG INTERIORS	502-204-5129	JOE.RUDD@CIGINTERIORS.COM
ETHAN RUDD	"	"	"
Ethan Nolan	Fall Rock Inc	606-813-7027	enolan@fallrockinc.com
JONATHAN TAYLOR	DB GENERAL CONTR.	859-556-3931	estimating@dbgencontracting
DAVID BUSBY	"	859-536-4352	DAVID " "
Luke Field	THP	513-562-7601	LField@thpltd.com
John Ketron	UK	859-257-6317	jrketr1@email.uky.edu
Online Attendees			
Bob Williams	UK	859-509-0992	robert.williams4@uky.edu
Ken Scott	UK		Kenneth.Scott@uky.edu
Macie Lindsay	THP	260.210.3539	mlindsay@thpltd.com
Thomas Scaggs	BCR	833-227-9600	
Justin Walter	Trisco	419-339-3906	office@triscosystems.com



THP Limited

Pre-Bid Meeting Notes

Date: March 7, 2025

Project: **University of Kentucky**
PS3 GARAGE FACADE - UK PROJECT # 2968.1

THP #: 24420.00

Distribution: Registered Bidders
Project Team

Agenda Items:

Introductions:

1. Bob Williams; Project Manager for UK (during Construction)
Email: Robert.Williams4@uky.edu
2. John Ketron; Associate Director UK Transportation Services
Email: jrketr1@email.uky.edu
3. Sarah Nordine; Capital Construction Coordinator
Email: sarah.nordine@uky.edu
4. Kenneth Scott; UK Purchasing Department
Email: **CCKBidquestions@uky.edu**
Fax: (859) 257-1951
5. Luke Field; Project Manager for THP
Cell: (513) 562-7601
Email: LField@thpltd.com
6. Macie Lindsay; Project Designer for THP
Office: (513) 338-5432
Email: MLindsay@thpltd.com

Bid and Contract Requirements:

7. Key Bid Dates:
 - Invitation for Bid CCK-2968.10-1-25: **2/20/2025**
 - Addendum 1 Issued: **2/21/2025**
 - Questions and Substitution requests are due: **3/11/2025, at 1:00 PM**
 - Submit questions and/or requests in writing (email or fax) to Kenneth Scott
 - Email: **CCKBidquestions@uky.edu**
 - Fax: (859) 257-1951
 - Additional questions received after 3/11 *may* be answered, but a response is not guaranteed.
 - Addendum 2 will be issued (approximately): **3/18/2025**
 - Bids due: **3/25/2025, at 3:00 PM**
 - Deliver to Room #322 Peterson Service Building, Lexington, Kentucky 40506-0005
 - Deliver in sealed envelope with information & formatting per the Invitation to Bid.
 - See Invitation to bid for additional details.
8. Bid guarantee (5% min) is required.
9. Payment and performance bonds (100%) are required from winning bidder.
10. It is the goal of the University of Kentucky that at least 10% of the contract dollar amount be completed by DBE (Diversity Business Enterprises) owned contractors and businesses. *DBE amounts will not affect award of project.*
11. The project is not a prevailing wage project.
12. Bob Williams will be coordinating permitting with UK Fire Marshal.
13. See Invitation to Bid for additional information regarding Procurement Process Documents, University Terms and Conditions, and Project Documents. *Include signed addendum acknowledgement, material clarification list, etc.*

Summary of Work:

14. General Scope of work:
 - A. Garage is a 3-story concrete structure (1980), with 3 story steel-framed addition (1985). Damage and deterioration has occurred due to water infiltration, as well as one location of significant vehicular impact. Vehicular impact area is included as Alternate No. 1, to allow for insurance claim tracking purposes.
 - B. *Phasing plans to read as project staging efforts.*
15. Base Bid & Alternate 1 scope of work:
 - A. Erection of scaffolding, overhead protection, fencing, jersey barriers and signage.
 - B. Replacement of EIFS cladding at designated locations (see plans and elevations).
 - i. Full height walls at Stair-B.
 - ii. Sections of parapet walls.
 - iii. Indicated column wrap locations.
 - C. At the vehicular damage area, the base-bid includes full replacement of parapet wall framing.

- D. At other areas of EIFS replacement, the base bid shall include designated quantity of unit-cost framing repairs (see specification section 012200).
 - E. Replacement of storefront windows at the south façade (punched openings).
 - F. Replacement of the sixth-floor steel door with new aluminum storefront door, including necessary modifications to the jamb framing and header.
 - G. New metal coping at the Stair-B roof.
 - H. Replacement of sections of steel 'closure plates' along the perimeter beams.
 - I. Replacement of the bird netting at the 6th floor ceiling of Stair-B.
 - J. Painting of structural steel exposed by the EIFS demolition (pour stops, and concealed faces of perimeter beams).
 - K. Tie-in of the traffic membrane system and the new parapet wall cladding.
16. Alternates:
- A. Alternate No. 1: Repair of vehicular damage (included above).
 - B. Alternate No. 2: Replacement of existing roofing material with new KEE roofing system, including new collector box/scupper and new downspout.
 - i. *No existing roof core samples. Intend to remove existing to the metal roof deck and replace with new KEE roof system.*
 - C. Alternate No. 3: Replacement of gaskets at 6th floor canopy structure glazing.
17. Unit Costs:
- A. Parapet walls:
 - i. Unit Cost U-1: Per vertical stud replacement.
 - ii. Unit Cost U-2: Per LF horizontal track replacement.
 - B. Stairwell walls:
 - i. Unit Cost U-1: Per vertical stud replacement.
 - ii. Unit Cost U-2: Per LF horizontal track replacement.
 - C. Column Wraps:
 - i. Unit Cost U-1: Per LF vertical stud replacement.
 - ii. Unit Cost U-2: Per LF horizontal track replacement.
18. Schedule
- A. Project schedule is 92 days.
 - B. Anticipated start date is April 28th, 2025.
 - C. Anticipated Substantial Completion July 28, 2025.

General Conditions

- 19. Normal working hours are 7:00 AM to 5:00 PM Monday through Friday. Work is permitted and encouraged for some afterhours efforts at no additional cost to the Owner, but must be coordinated with the University at least 24 hours in advance.
- 20. Storage of material is permitted in Contractor lay-down area, where indicated on the site plan.

21. Where available the owner will provide power and water. The owner may charge Contractor for these services if the Contractor is using excessive or wasteful amounts of either.
22. No job site trailer is required. Trailer may be provided by Contractor – location to be coordinated with UK.
23. Temporary toilet facilities shall be provided by the Contractor.
24. Barriers shall be provided around work areas as indicated in the drawings. Traffic and pedestrian control measures shall be provided to direct the public around work areas. Access to entrances must be maintained and protected where indicated in drawings.
 - A. *No screening at chain link fencing. Fencing can shift slightly – contractor must maintain minimum drive width open as indicated in notes on sheet 011.*
25. Requests for substitutions to the specified products listed in the technical specification should be made in writing a minimum of 14 calendar days ahead of the bid date. If accepted, an Addendum will be provide to all bidders to allow the change.
26. See UK General Conditions and Special Conditions for additional information and requirements.

Additional Site Conditions:

27. Site plan indicates proposed locations of dumpster, lay-down area, site fencing, etc.
28. Contractor shall document existing conditions of work area and adjacent areas prior to starting work. As indicated in the documents, contractor will be responsible for any damage incurred to site elements.
29. Work shall avoid areas adjacent to tree drip-lines. If contractor's work does approach tree drip lines, tree protection per UK standards must be deployed. Standards have been included in specification section 015640, and are available directly from UK.
29. Garage is to remain open throughout construction. Maximum number of parking space closure is indicated in the site phasing plan.
30. *The overhead protection along the east and south façade must be sized to allow for wheelchair access.*
31. *Bird droppings must be cleaned prior to demolition, per University and hospital requirements. Cleaning should take place during hours with minimal hospital patient activity.*
32. *Contractor parking – UK will sell 4 parking passes per UK contract standards.*
 - A. *UK to provide parking pass pricing.*

Additional Technical Requirements:

33. Contractor is responsible for controlling dust, debris, and odors on site.
 - A. *Coordinate with UK for air intake shut off when possible. Provide 24 hours notice. Shut-off may be limited to overnight hours.*

34. No changes are proposed to existing electrical lighting, signage, or conduits. Contractor to coordinate any temporary displacement of electrical elements as needed to complete the EIFS repairs.
35. The existing canopy structure on the 6th floor that abuts the EIFS-clad Stair-B is to remain. Contractor may temporarily disassemble portions of the canopy as needed to perform the EIFS repairs.
36. Storefront glazing includes ceramic fritting patterns to prevent bird-strikes.
37. Scaffolding may clamp to garage steel structure – do not anchor to EIFS wall framing or concrete slabs.
38. Primer is required for all sealant installation, unless manufacturer provides letter indicating primer would be a detriment to installation.

Site Tour:

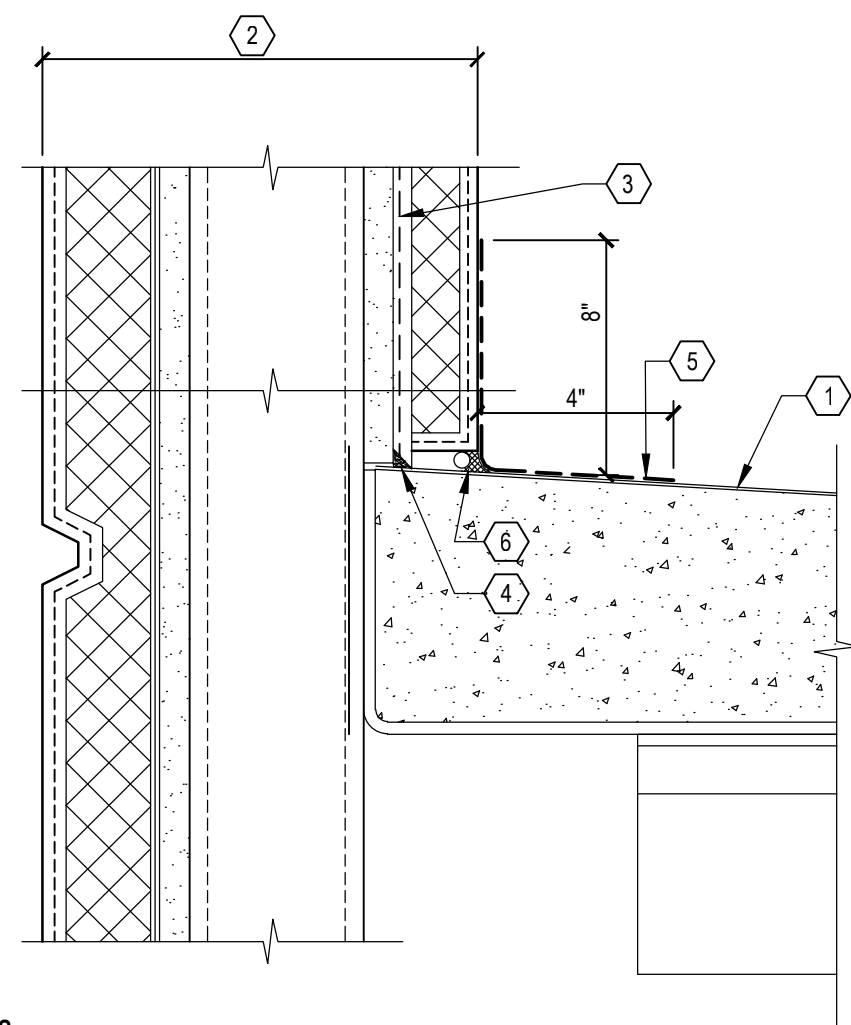
39. We may answer questions today, but all questions will need to be asked in writing and official questions and answer will come with the addendum.

Questions:

The following questions are answered below (and mayb also be included in the meeting notes above):

29. **Q:** Is contractor parking provided?
A: Contract will include standard UK language regarding contractor parking [that up to (4) spaces can be made available for contractor to rent at standard garage rates]. Parking would be located on the 6th floor.
30. **Q:** Drawings refer to project phasing – is it intended that the work is performed in multiple distinct phases?
A: No, the 'Phasing Plans' on sheet 011 show job fencing and parking space closures on each floor. These closures may are not phased, but may occur concurrently and for the duration of the project.
31. **Q:** Is it possible to shut down the garage for portions of time?
A: No – the garage must remain open at all times.
32. **Q:** Were roofing cores taken from of the stair-tower roof construction?
A: No roof cuts were made. Details are based on available original construction documents.

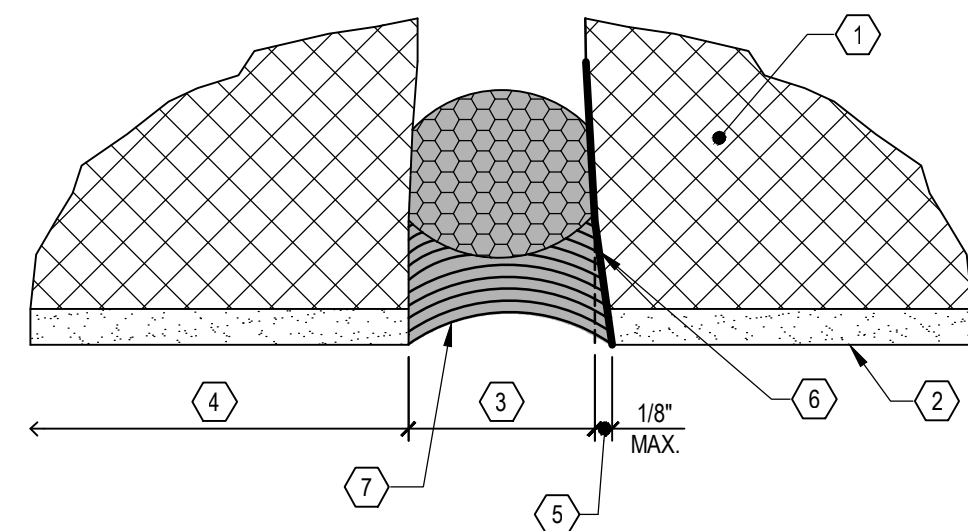
Meeting Notes by: Luke Field, THP Ltd Inc.



KEY NOTES:

- EXISTING CONCRETE SLAB WITH TRAFFIC MEMBRANE TO REMAIN.
- PARAPET WALL - REFER TO PLANS FOR SCOPE OF CFMF AND TYPICAL EIFS REPAIR.
- NEW AIR/WATER RESISTIVE BARRIER. REFER TO SPECIFICATION SECTION 072400.
- NEW URETHANE COVE SEALANT. REFER TO SPECIFICATION SECTION 079200.
- NEW VEHICULAR TRAFFIC MEMBRANE STRIP FLASH ONTO SHEATHING 8" MIN. LAP ONTO SLAB 4" MIN. BOD: LYMTAL ISO-FLEX 760 ALIPHATIC SYSTEM. REFER TO SPECIFICATION SECTION 071600.
- NEW BACKER ROD AND URETHANE COVE SEALANT AT BASE OF EIFS. REFER TO SPECIFICATION SECTION 079200.

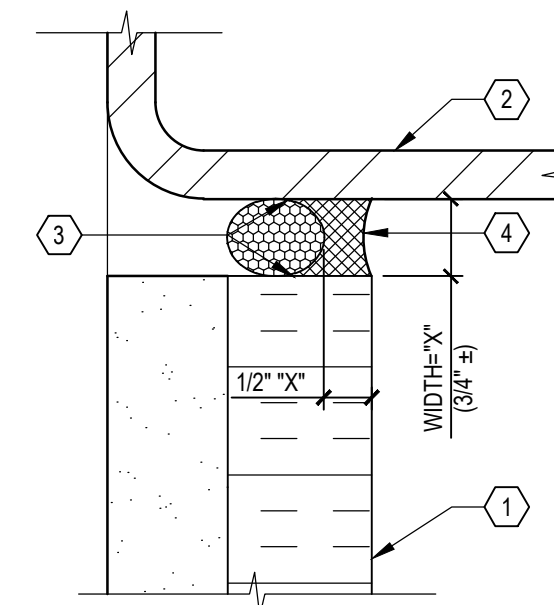
1
PANEL FLASHING
DETAIL
501 3" = 1'-0"



KEY NOTES:

- EXISTING INSULATION BOARD.
- EXISTING EIFS LAMINA.
- EXISTING VERTICAL CONTROL JOINT. REMOVE EXISTING SEALANT AND BACKER ROD.
- NEW EIFS PANEL.
- GRIND EXISTING EDGES OF JOINT SIDES TO REMOVE SEALANT REMNANTS AND CLEAN SURFACE AFTER COMPLETION OF GRINDING. BLOW-OUT JOINT OPENINGS WITH COMPRESSED AIR TO REMOVE DUST, DIRT, AND DEBRIS. REFER TO SPECIFICATION SECTION 079200.
- COAT SIDES OF PREPARED JOINT WITH EIFS BASE-COAT MATERIAL. REFER TO SPECIFICATION SECTIONS 072400 & 079200.
- AFTER CURE OF COATING MATERIAL, INSTALL NEW BACKER ROD AND SILICONE SEALANT. REFER TO SPECIFICATION SECTION 079200.

2
VERTICAL SEALANT JOINT AT EIFS
DETAIL
501 NO SCALE



KEYNOTES:

- NEW EIFS CLADDING - REFER TO PLANS FOR SCOPE OF REPAIRS.
- NEW OR EXISTING STEEL CLOSURE PLATE.
- PRIME ALL SURFACES PRIOR TO SEALANT APPLICATION.
- PROVIDE NEW BACKER ROD AND SILICONE SEALANT - JOINT WIDTH 3/4" ±. REFER TO SPECIFICATION SECTION 079200.

3
SEALANT AT JOINT BETWEEN EIFS AND STEEL
DETAIL
501 NO SCALE

ISSUES/REVISIONS

1/24/2025	OWNER REVIEW - SB/DD SET
2/19/2025	OWNER REVIEW - CD SET
2/17/2025	BID SET
1	3/18/2025 BID ADDENDUM NO.2

PROJECT DESIGNER M. S. LINDSAY

PROJECT MANAGER L. V. FIELD

PRINCIPAL W. M. JUDD

CHECKED BY W. M. JUDD

UK
CAMPUS PARKING
IMPROVEMENTS

PS3 GARAGE
FACADE

UK NUMBER
2968.1

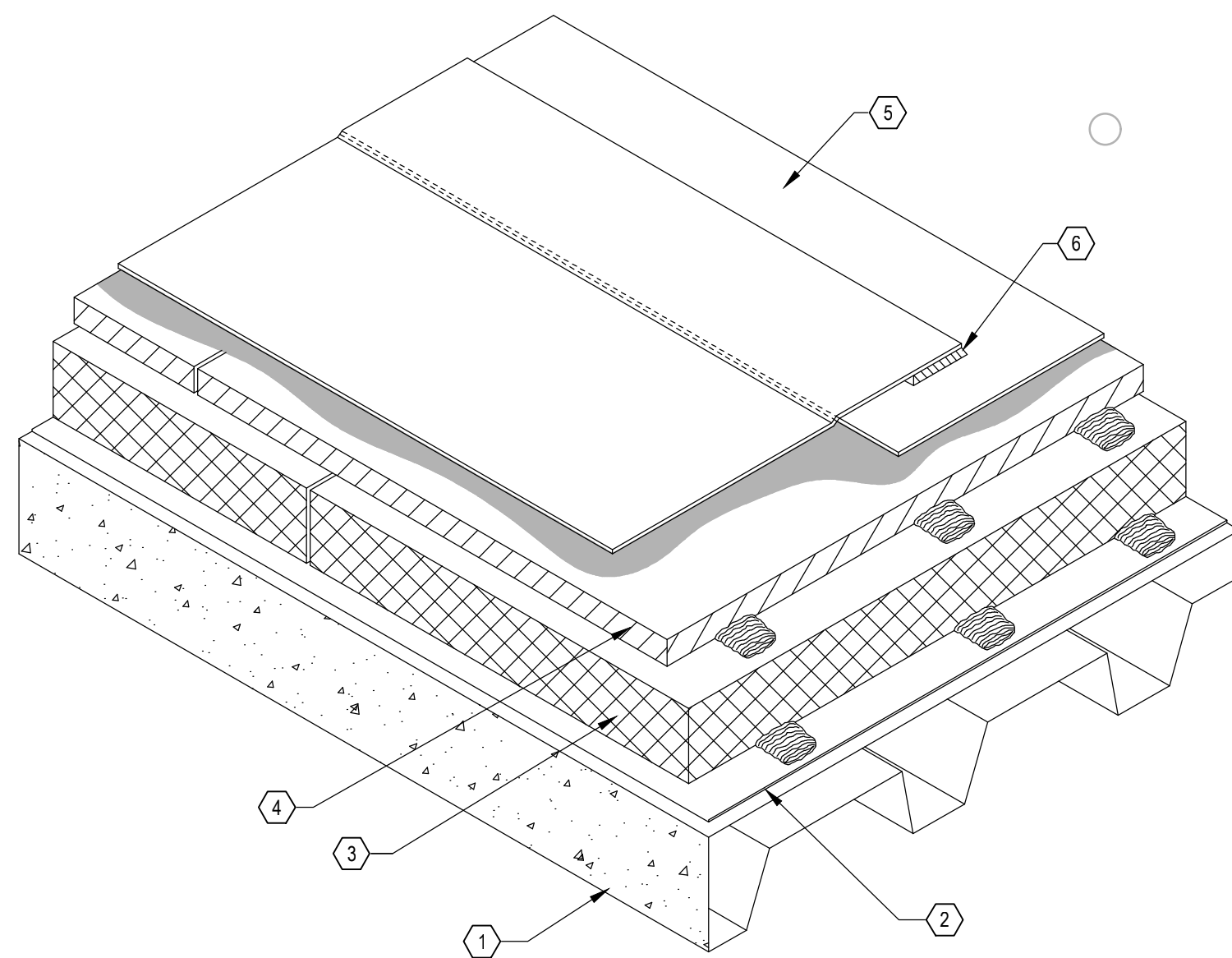
DRAWING TITLE
SEALANTS, TRAFFIC
MEMBRANE DETAILS

THP JOB NUMBER DATE

24420.00 **FEB. 2024**

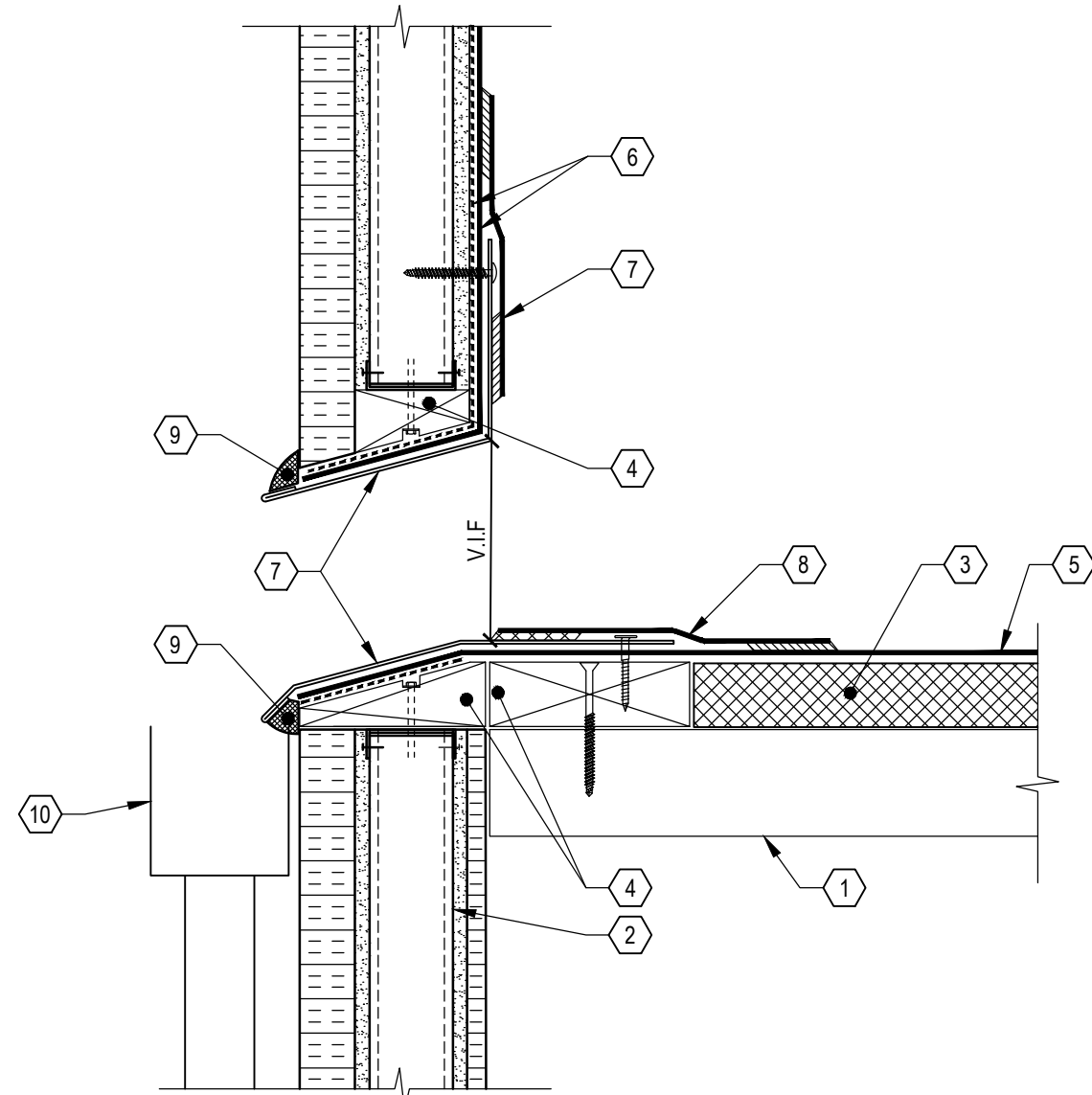
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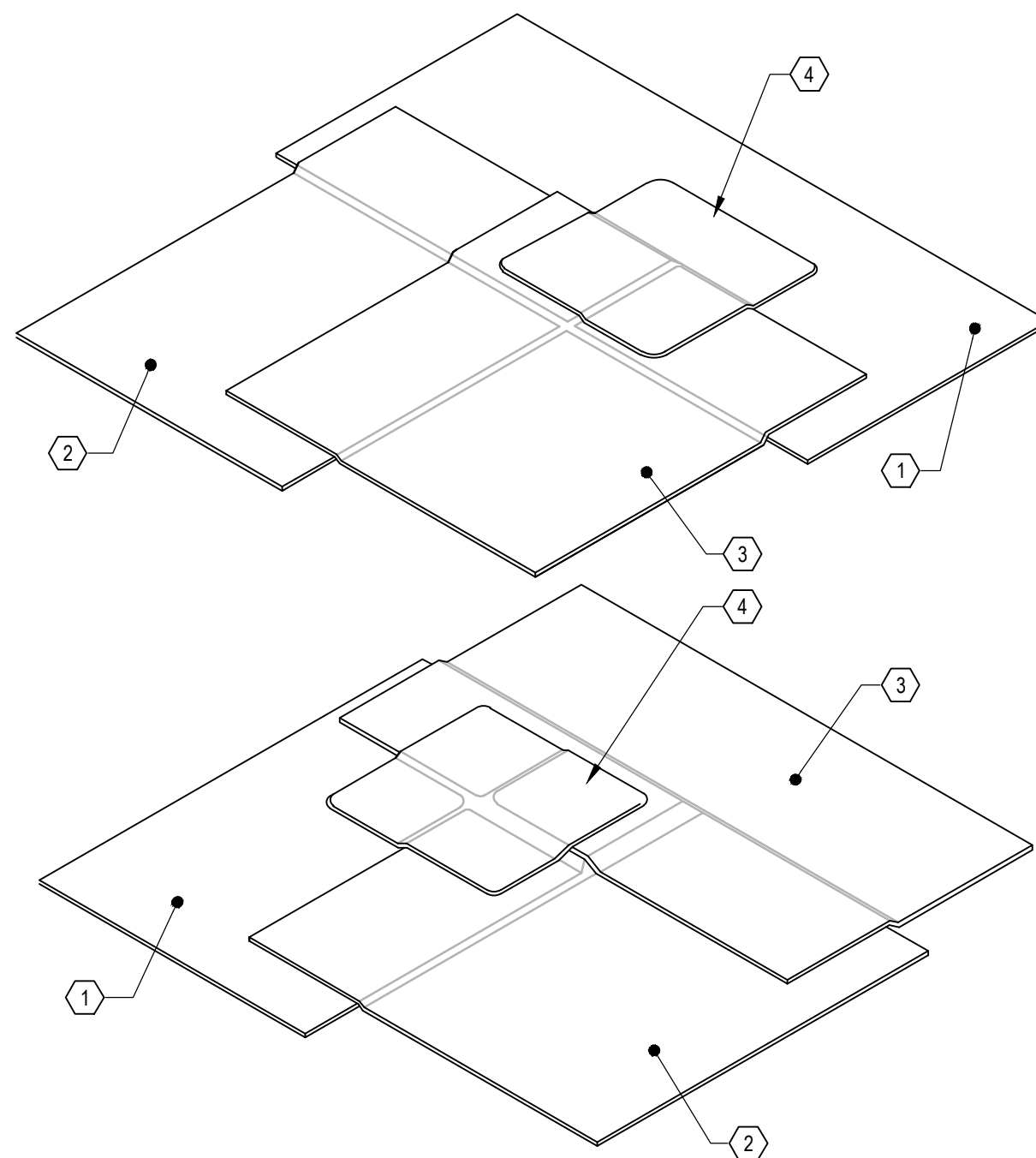
1. EXISTING METAL ROOF DECK OR CONCRETE DECK.
2. NEW SELF-ADHERED VAPOR BARRIER.
3. NEW ADHERED TAPERED POLYISOCYANURATE INSULATION - MIN 1" THICK. SLOPE TOWARDS DRAIN - MINIMUM 1/4" PER FOOT. REFER TO SPECIFICATION SECTION 075416.
4. NEW ADHERED 1/2" COVER BOARD. REFER TO SPECIFICATION SECTION 075416.
5. NEW ADHERED KEE MEMBRANE. REFER TO SPECIFICATION SECTION 075416.
6. HOT AIR WELD SEAMS. REFER TO 2/701 FOR LAPS.

1
TYPICAL ROOF SYSTEM
DETAIL
701 NO SCALE



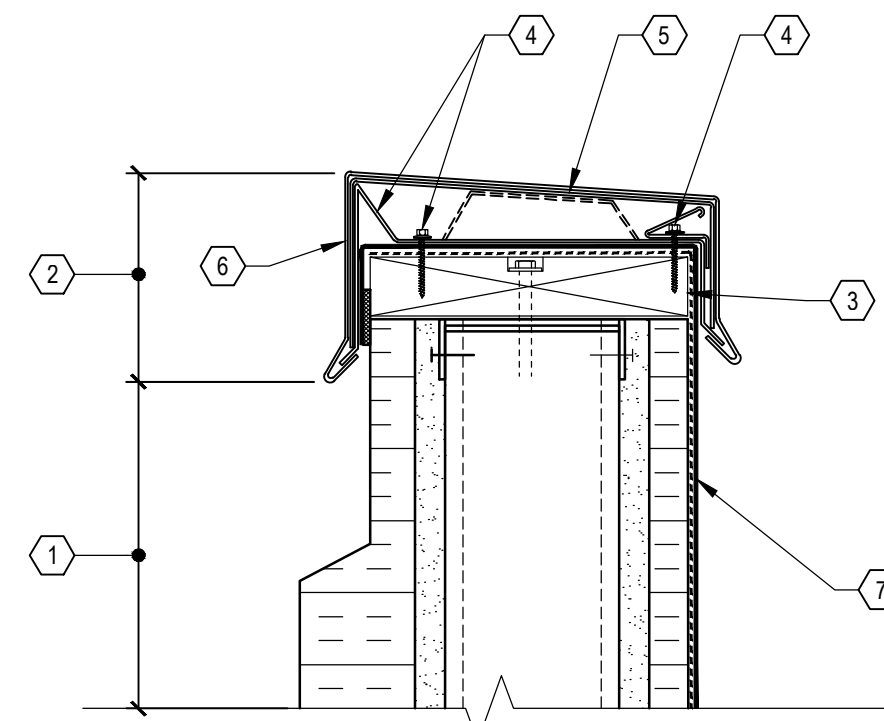
1. EXISTING METAL DECK ROOF STRUCTURE. DO NOT DAMAGE.
2. EXISTING CFMF PARAPET WALL. REFER TO PLANS AND SECTIONS FOR REPAIRS.
3. NEW TAPERED POLYISOCYANURATE INSULATION. REFER TO DETAIL 1/701.
4. NEW F.R. WOOD BLOCKING ATTACHED TO METAL DECK. REFER TO SPECIFICATION SECTION 061053.
5. NEW ADHERED KEE MEMBRANE REFER TO SPECIFICATION SECTION 075416.
6. NEW ADHERED KEE MEMBRANE FLASHING SHEET AND ADHESIVE. REFER TO SPECIFICATION SECTION 075416.
7. NEW FIBERCLAD METAL SCUPPER FLASHING ATTACHED WITH GALVANIZED ANNULAR RING SHANK NAILS 3" O.C. AT VERTICAL SURFACE ATTACH WITH MANUFACTURER APPROVED FASTENERS. REFER TO SPECIFICATION SECTION 075416.
8. NEW KEE MEMBRANE FLASHING STRIP. HOT WELD TO ROOF MEMBRANE AND METAL FLASHING SCUPPER. REFER TO SPECIFICATION SECTION 075416.
9. NEW SILICONE SEALANT AT SCUPPER DRIP EDGE. REFER TO SPECIFICATION SECTION 075416.
10. NEW CONNECTOR AND DOWNSPOUT TO MATCH EXISTING. REFER TO SPECIFICATION SECTION 075416.

4
SCUPPER FLASHING
DETAIL
701 1 1/2" = 1'-0"



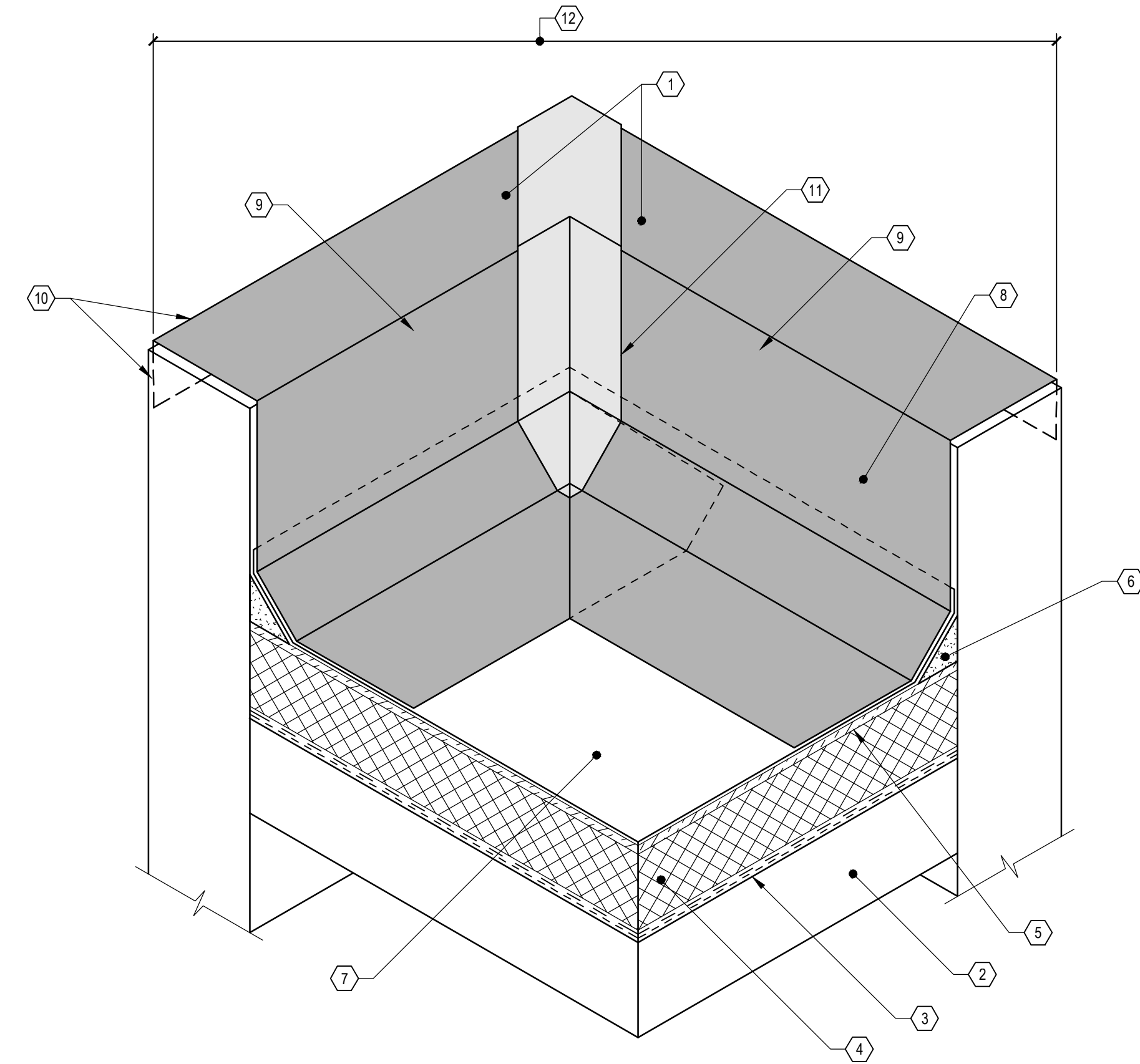
1. FIRST KEE MEMBRANE SHEET. REFER TO SPECIFICATION SECTION 075416.
2. MEMBRANE SHEET SIDE LAPPED ONTO FIRST MEMBRANE SHEET.
3. THIRD MEMBRANE SHEET LAPPED ONTO FIRST TWO MEMBRANE SHEETS.
4. PROVIDE 4"x4" T-PATCH AT INTERFACE OF THREE MEMBRANE SHEETS. HOT-AIR WELD ENTIRE T-PATCH AND ALL MEMBRANE SHEET SIDE LAPS.

2
TYPICAL COVERS AT KEE MEMBRANE LAPS
DETAIL
701 NO SCALE



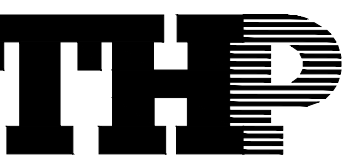
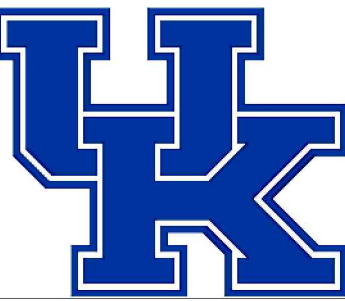
1. EXISTING CFMF WALL - REFER TO PLANS FOR EXTENTS OF UNIT-COST REPAIRS.
2. NEW PARAPET COPING TO BE PART OF BASE SCOPE.
3. WOOD BLOCKING ATTACHED TO CFMF. REFER TO SPECIFICATION SECTION 061053.
4. NEW 12" WIDE 20 GA GALVANIZED ANCHOR CLIPS 4" O.C. SECURE TO WOOD BLOCKING WITH #9 X 1-1/2" STAINLESS STEEL FASTENERS.
5. NEW 8" WIDE CONCEALED SPLICE PLATE AT EACH JOINT.
6. NEW TAPERED COPING COVER. REFER TO SPECIFICATION SECTION 075416.
7. ALTERNATE NO. 2: NEW KEE MEMBRANE TO BE PART OF ALTERNATE NO. 2. REFER TO PLANS, AND DETAILS 1-4 ON SHEET 701.

5
PARAPET CAP
DETAIL
701 3" = 1'-0"



1. EXISTING CFMF PARAPET WALL. REFER TO PLANS AND SECTIONS FOR REPAIRS.
2. ROOF DECKING
3. NEW PRIMER AND SELF-ADHERED MEMBRANE VAPOR RETARDER. REFER TO SPECIFICATION SECTION 075416.
4. NEW TAPERED POLYISOCYANURATE INSULATION BOARD (REFER TO 1/701).
5. NEW 1/2" THICK COVER BOARD. REFER TO DETAIL 1/701.
6. NEW CONTINUOUS CANT STRIP AT TRANSITIONS FROM ROOF TO WALLS. REFER TO SPECIFICATION SECTION 075416.
7. NEW FULLY-ADHERED SINGLE-PLY KEE MEMBRANE EXTENDED ABOVE CANT STRIP.
8. NEW FULLY-ADHERED SINGLE-PLY KEE MEMBRANE FLASHING, ONE PIECE AT CORNER.
9. NEW STAINLESS STEEL TERMINATION BAR FASTENED AT 8" O.C. REFER TO SPECIFICATION SECTION 075416.
10. KEE MEMBRANE TO EXTEND UP AND OVER TOP OF PARAPET WALL. SEAL TO BACKSIDE OF WALL WITH BUTYLE SEALING TAPE.
11. NEW FULLY-ADHERED SINGLE-PLY KEE MEMBRANE (NON-FLEECE) STRIP AT CORNER. REFER TO SPECIFICATION SECTION 075416.
12. AS PART OF BASE SCOPE, PROVIDE NEW METAL COPING PER DETAIL 5/701.

3
MEMBRANE INSIDE CORNERS
DETAIL
701 1 1/2" = 1'-0"



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ISSUES/REVISIONS

NO.	DATE	DESCRIPTION
1/26/2025	OWNER REVIEW - SB/DD SET	
2/19/2025	OWNER REVIEW - CD SET	
2/17/2025	BID SET	
3/18/2025	BID ADDENDUM NO. 2	

PROJECT DESIGNER M. S. LINDSAY
PROJECT MANAGER L. V. FIELD
PRINCIPAL W. M. JUDD
CHECKED BY W. M. JUDD

UK
CAMPUS PARKING
IMPROVEMENTS

PS3 GARAGE
FACADE

UK NUMBER 2968.1
DRAWING TITLE KEE ROOFING DETAILS
THP JOB NUMBER DATE 24420.00 FEB. 2024
DRAWING NUMBER