



REQUEST FOR PROPOSAL (RFP)

| | |
|---|---|
| Invitation Number | RE-0208-24 |
| Issue Date: | 04/19/2024 |
| Title: | UK has Land to Lease – Nicholasville, KY |
| IMPORTANT: PROPOSALS MUST BE RECEIVED BY: 05/10/2024 3:00 P.M. Lexington, KY time. | |

**Two copies of response may be made by any person in writing on or before:
3:00p.m, May 10, 2024.**

and must be sent to:

**Procurement Services
University of Kentucky
411 South Limestone
322 Peterson Service Building
Lexington, Kentucky 40506-0005.
RE: RE-0208-24**

Incorrectly addressed envelopes and FAX responses will not be accepted.

All responses received, before the deadline and properly addressed, will be publicly opened and read at the above designated date and time.

SIGNATURE REQUIRED: This proposal cannot be considered valid unless signed and dated by an authorized agent of the offeror. Type or print the signatory's name, title, address, phone number and fax number in the spaces provided. Offers signed by an agent are to be accompanied by evidence of his/her authority unless such evidence has been previously furnished to the issuing office.

| | |
|------------------------------------|-------------------|
| NAME OF COMPANY: | FEIN # |
| ADDRESS: | DUNS #: |
| CITY, STATE & ZIP CODE: | Phone/Fax: |
| TYPED OR PRINTED NAME: | E-MAIL: |
| SIGNATURE: | DATE: |

Conflict of Interest

This RFP and any resulting lease agreement are subject to provisions of the Kentucky Revised Statutes and the University's Ethical Principles and Code of Conduct regarding conflict of interest. When submitting and signing a proposal, an offeror is certifying that no actual, apparent or potential conflict of interest exists between the University and the offeror.

List name(s) of all individuals who have any ownership in the proposed offeror's entity.

- | | |
|----------|----------|
| 1. _____ | 5. _____ |
| 2. _____ | 6. _____ |
| 3. _____ | 7. _____ |
| 4. _____ | 8. _____ |

INVITATION FOR LAND LEASE

The University of Kentucky is seeking to lease farmland to an offeror for agricultural use. Tract 1 is approximately 71.08 acres located at 1357 Shun Pike in Nicholasville, Kentucky on the outside of the Nicholasville Bypass. Tract 2 is approximately 14.88 acres on the inside of the bypass. Offerors may choose either tract, or both, and should indicate their preference in their response. The offeror would be responsible for the care, management, and maintenance of the property. This would be a multiple year agreement starting at lease execution, with renewal terms available if agreed to by UK and the successful offeror. The successful offeror would provide all insurance listed below.

Additional information: UK is in the process of demolishing all structures on the property and installing some fencing and gates to prevent easy access to the property by trespassers.

INSURANCE REQUIREMENTS

The successful offeror shall procure and maintain, at its expense, the following minimum insurance coverages insuring all services, work activities and contractual obligations undertaken in this contract. These insurance policies must be with insurers acceptable to the University.

COVERAGES

Workers' Compensation
Employer's Liability
Commercial General Liability including operations/completed operations, products and contractual liability (including defense and investigation costs), and this contract
Business Automobile Liability covering owned, leased, or non-owned autos
Pollution Liability

LIMITS

Statutory Requirements (Kentucky)
\$500,000/\$500,000/\$500,000
\$1,000,000 each occurrence
(BI & PD combined) \$2,000,000 Products and Completed Operations Aggregate
\$1,000,000 each occurrence
(BI & PD combined)
\$1,000,000 each occurrence

The successful offeror agrees to furnish Certificates of Insurance for the above-described coverages and limits to the University of Kentucky, Procurement Services. The University, its trustees and employees must be added as additional insured on the Commercial General Liability policy with regard to the scope of this solicitation. Any deductibles or self-insured retention in the above-described policies must be paid and are the sole responsibility of the offeror. Coverage is to be primary and non-contributory with other coverage (if any) purchased by the University. All of these required policies must include a Waiver of Subrogation (except Workers' Compensation) in favor of the University, its trustees and employees.

For any questions regarding this proposal, please contact Rebecca Purcell in Procurement Services at 859-257-5479 or rpurcell@uky.edu.

Name: _____

Address: _____

Phone Number: _____

Offerors to fill in the following:

Proposed acreage willing to be leased (select one below):

Tract 1 only

Tract 2 only

Both tracts

Proposed agricultural use _____

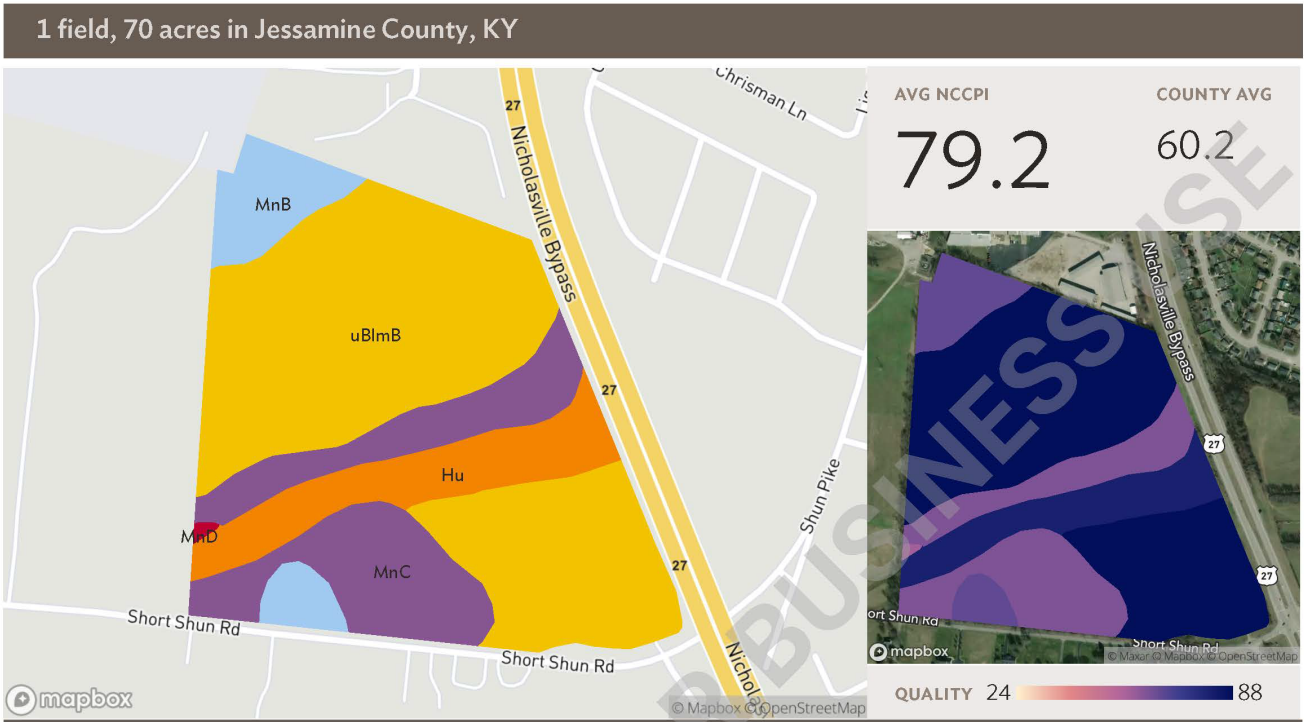
Provide a description of offeror's experience operating this type of agricultural use on a separate page.

Rent paid to the University to lease land on an annual basis \$ _____

Proposed Starting Date of the Lease _____

Proposed Length of Lease Term _____

The University of Kentucky does not guarantee the below information. The successful offeror will have the opportunity to verify the soil quality.

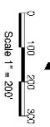


Source: NRCS Soil Survey

All fields

70 ac.

| SOIL CODE | SOIL DESCRIPTION | ACRES | PERCENTAGE OF FIELD | SOIL CLASS | NCCPI |
|-----------|---|-------|---------------------|------------|--------------|
| uBlmB | Bluegrass-Maury silt loams, 2 to 6 percent slopes | 39.86 | 56.8% | 2 | 87.3 |
| MnC | McAfee silt loam, 6 to 12 percent slopes | 15.63 | 22.3% | 3 | 62.6 |
| Hu | Huntington silt loam, 0 to 4 percent slopes, occasionally flooded | 8.63 | 12.3% | 2 | 81.3 |
| MnB | McAfee silt loam, 2 to 6 percent slopes | 5.95 | 8.5% | 2 | 66.5 |
| MnD | McAfee silt loam, 12 to 20 percent slopes | 0.12 | 0.2% | 4 | 57.5 |
| | | | | | 70.20 |
| | | | | | 79.2 |



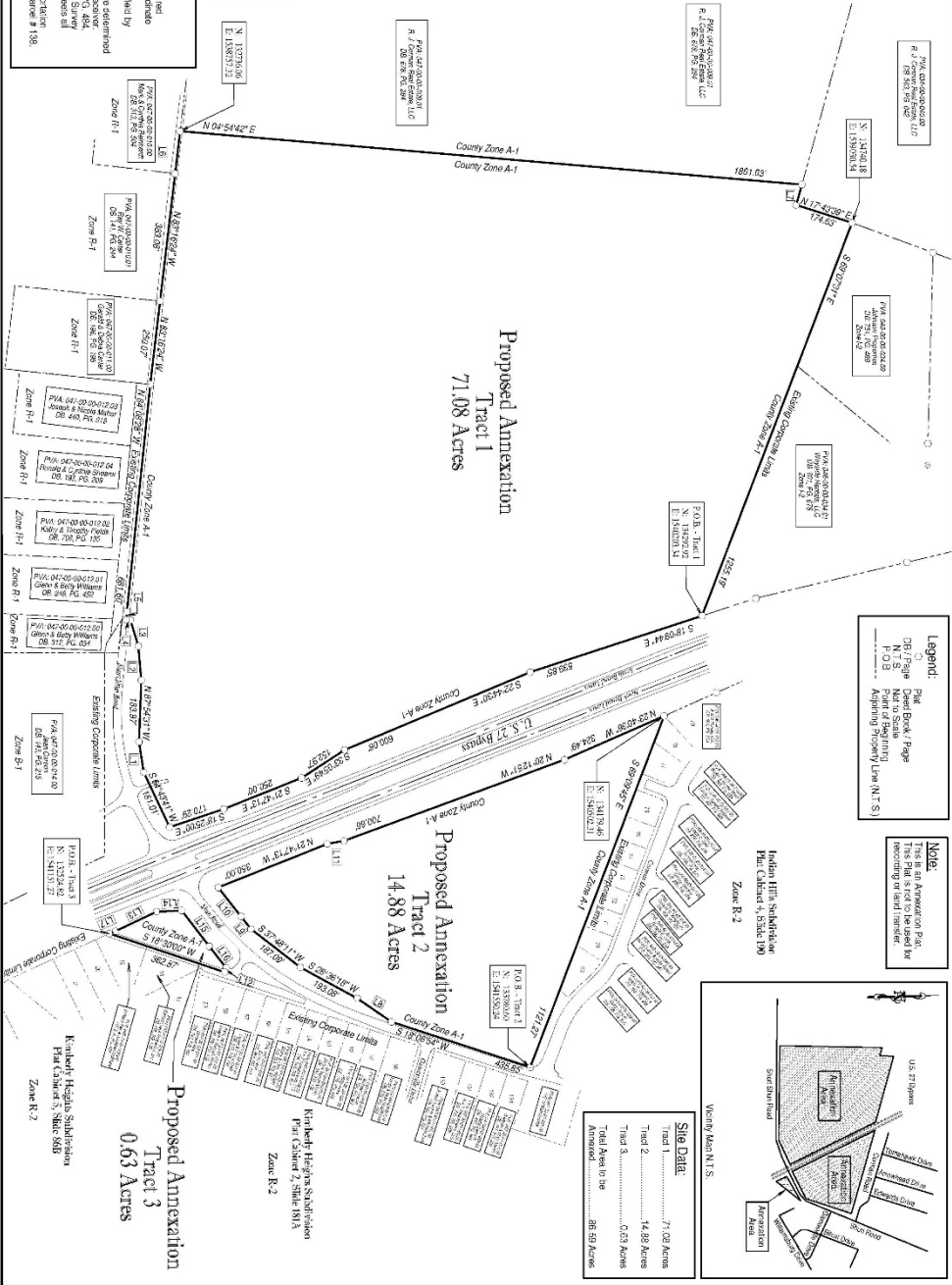
Basis for Bearings:
 GPS Survey utilizing Continuously Operating Reference Station (CORS) Network of KY (NAD 83) Coordinates Based on Kentucky State Plane Coordinate (North Zone, NAD 83).

| # | Bearing | Distance |
|-----|---------------|----------|
| L1 | S 81°19'22" W | 91.54 |
| L2 | S 84°09'31" W | 101.87 |
| L3 | S 82°11'57" W | 131.27 |
| L4 | N 88°39'48" W | 24.67 |
| L5 | S 88°39'48" W | 24.67 |
| L6 | S 82°11'57" W | 131.27 |
| L7 | S 81°19'22" W | 91.54 |
| L8 | S 84°09'31" W | 101.87 |
| L9 | S 82°11'57" W | 131.27 |
| L10 | S 81°19'22" W | 91.54 |
| L11 | N 11°09'37" W | 110.00 |
| L12 | N 11°09'37" W | 95.88 |
| L13 | N 87°29'27" E | 138.78 |
| L14 | N 87°29'27" E | 75.17 |
| L15 | N 87°29'27" E | 184.27 |
| L16 | N 87°29'27" E | 138.78 |
| L17 | N 87°29'27" E | 18.89 |

Purpose:
 1) To annex the property shown hereon into the City of Nicholasville, Kentucky.
 2) To annex the property shown hereon into the City of Zone A-1.

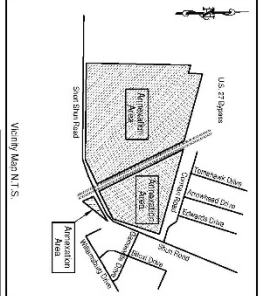
Survey Notes:
 1) All corner and station marks have been measured and recorded in the field.
 2) The plat is based on a survey performed in the field by the Surveyor.
 3) Control points and a portion of the boundary were determined by using a Trimble R5S GNSS data logger receiver.
 4) The survey was performed in an open Class Survey and the accuracy and precision of said survey meets all requirements of the Kentucky Surveying Code, Chapter 220, Kentucky Revised Statutes, as amended.
 5) The survey was performed in accordance with the standards of the Kentucky Board of Surveying and Mapping, as amended.
 6) The survey was performed in accordance with the standards of the Kentucky Board of Surveying and Mapping, as amended.
 7) Data A-1.

Surveyor's Certificate
 I do hereby certify that no date shown and described hereon is a true and correct survey in the ordinary meaning of the words as placed as shown on the said Survey to the specifications of the State of Kentucky Minimum Standards.
 Richard W. Berry, S.S. # 3656
 Date: 03-17-22



Legend:
 --- Pipe
 --- Ditch/Drop/Pipe
 --- N.T.S.
 --- Not to Scale
 --- Existing Property Line (N.T.S.)
 --- Adopting Property Line (N.T.S.)

Note:
 This is a Proposed Plat. This Plat is not to be used for recording or land transfer.



Site Data:

| | |
|--------------------------|-------------|
| Tract 1 | 71.08 Acres |
| Tract 2 | 14.88 Acres |
| Tract 3 | 0.63 Acres |
| Total Area to be Annexed | 86.59 Acres |

BERRY LAND SURVEYING
 1401 Kirtland Drive
 Nicholasville, Kentucky 40396
 Phone: 502-971-2868
 E-Mail: Berry@BerryLand.com

Annexation Plat
 City of Nicholasville
 University of Kentucky Property
 Short Shun Road, Shun Road
 & U.S. 27 Bypass
 Nicholasville, Jessamine County, Kentucky

Recorder's Certification