



INVITATION FOR BIDS

CCK-2748-24

RCARS Multipurpose AG Building

ADDENDUM # 1

9/22/2023

IMPORTANT: BID AND ADDENDUM MUST BE RECEIVED BY 9/29/2023 @ 3:00 P.M. LEXINGTON, KY TIME

Bidder must acknowledge receipt of this and any addendum as stated in the Invitation for Bids.

BIDDER NOTICES:

- The bid date for this project is now 9/29/2023.
- Please use the attached revised Form of Proposal which now includes Unit Pricing.
- All received questions have been answered in the attached documents. Please review all new documents and drawings.

OFFICIAL APPROVAL
UNIVERSITY OF KENTUCKY

Patricia Pflug

Contracting Officer / (859) 257-5409

SIGNATURE

Typed or Printed Name

University of Kentucky
Purchasing Division
322 Peterson Service Building
Lexington, KY 40506-0005

An Equal Opportunity University

UNIVERSITY OF KENTUCKY
CAPITAL CONSTRUCTION PROCUREMENT SECTION
FORM OF PROPOSAL
REVISED 02.24.2023

Project No. _____ Project Title: **RCARS Multipurpose AG Building**

Purchasing Officer: _____

NOTE: The following Form of Proposal shall be followed exactly in submitting a proposal for this work. If this copy is lost, an additional copy will be furnished upon written request to the authority issuing Contract Documents.

This Proposal is submitted by:

(NAME AND ADDRESS OF BIDDER)

Date: _____

Telephone: _____

TO: BID CLERK
UNIVERSITY OF KENTUCKY
CAPITAL CONSTRUCTION
PROCUREMENT
RM. 322 PETERSON SERVICE BUILDING
LEXINGTON, KY. 40506-0005

INVITATION TO BID: **CCK-2748-24**

BID DEADLINE: **3:00PM LEXINGTON KY TIME**
September 27, 2023
(DATE)

The Bidder, in compliance with your Invitation for Bids for the above referenced Project, having carefully examined the site of the Work, the Drawings and complete Contract Documents as defined in Article I of the General Conditions, as well as the Specifications affecting the work as prepared by the Consultant, hereby proposes to furnish all labor, materials, supplies and services required to construct the Project in accordance with the Contract Documents, within the time set forth therein, and at the price stated below without qualification.

The Bidder hereby acknowledges receipt of the following Addenda:

ADDENDUM NO. _____ DATED _____

ADDENDUM NO. _____ DATED _____

ADDENDUM NO. _____ DATED _____

ADDENDUM NO. _____ DATED _____

ADDENDUM NO. _____ DATED _____

ADDENDUM NO. _____ DATED _____

(Here insert the number and date of any Addenda issued and received. If none has been issued and received, the word NONE should be inserted.)

Contractor Report of Prior Violations of
Chapters 136,139, 141, 337, 338, 341, and 342

Pursuant to KRS 45A.485, the Contractor shall, prior to the award of a Contract, reveal final determinations of any violations of the provisions of KRS Chapters 136, 139, 141, 337, 338, 341, and 342 by the Contractor that have occurred in the previous five (5) year period.

This statute also requires for the duration of the Contract established, the Contractor be in continuous compliance with the provisions of Chapters 136, 139, 141, 337, 338, 341, and 342 that apply to the Contractor's operations. The Contractor's failure to reveal a final determination of a violation of KRS Chapters 136, 139, 141, 337, 338, 341, and 342, or failure to comply with any of the above cited statutes for the duration of the Contract shall be grounds for the cancellation of the Contract, and the disqualification from eligibility for future contracts for a period of two (2) years.

The Contractor, by signing and submitting a Bid on this Invitation, agrees as required by KRS 45A.485 to submit final determinations of any violations of the provisions of KRS Chapters 136, 139, 141, 337, 338, 341, and 342 that have occurred in the previous five (5) years prior to the award of a Contract and agrees to remain in continuous compliance with the provisions of these statutes during the duration of any contract that may be established. Final determinations of any violations of these statutes, must be provided to the University by the successful Contractor prior to the award of a Contract.

LUMP SUM PROPOSAL

The Bidder agrees to furnish all labor, materials, supplies and services required to complete the Work, for the above referenced Project, for the Capital Construction Procurement Section, University of Kentucky, as described in the Specifications and Contract Documents and shown on the Drawings enumerated below and as modified by the Addenda listed above.

FOR THE LUMP SUM OF _____
(USE WORDS)
_____ DOLLARS AND _____ CENTS.
(USE WORDS) (USE WORDS)
(\$ _____)
(USE FIGURES)

004100B01**FORM OF PROPOSAL****AUTHENTICATION OF BID AND STATEMENT OF NON-COLLUSION AND NON-CONFLICT OF INTEREST**

I hereby certify:

1. That I am the Bidder (if the Bidder is an individual), a partner in the Bidder (if the Bidder is a partnership), or an officer or employee of the bidding corporation having authority to sign on its behalf (if the Bidder is a corporation);
2. That the submitted Bid or Bids covering Capital Construction Procurement Section Invitation No. **CCK-2748-24** have been arrived at by the Bidder independently and have been submitted without collusion with, and without any agreement, understanding or planned common course of action with, any other contractor, vendor of materials, supplies, equipment or services described in the Invitation to Bid, designed to limit independent bidding or competition; as prohibited by provision KRS 45A.325;
3. That the contents of the Bid or Bids have not been communicated by the Bidder or its employees or agents to any person not an employee or agent of the Bidder or its surety on any bond furnished with the Bid or Bids and will not be communicated to any such person prior to the official opening of the Bid or Bids;
4. That the Bidder is legally entitled to enter into the contracts with the University of Kentucky and is not in violation of any prohibited conflict of interest, including those prohibited by the provisions of KRS 164.390, and 45A.330 to 45A.340 and 45A.455;
5. This offer is good for 60 calendar days from the date this Bid is opened. In submitting the above, it is expressly agreed that upon proper acceptance by the Capital Construction Procurement Section of any or all items Bid above, a contract shall thereby be created with respect to the items accepted;
6. That I have fully informed myself regarding and affirm the accuracy of all statements made in this Form of Proposal including Bid Amount.
7. Unless otherwise exempted by KRS 45.590, the Bidder intends to comply in full with all requirements of the Kentucky Civil Rights Act and to submit data required by the Kentucky Equal Employment Act upon being designated the successful contractor.
8. That the bidding contractor and all subcontractors to be employed do not and will not maintain any facilities they provide for employees in a segregated manner and they are in full compliance with provisions of 41 CFR 60-1.8 that prohibits the maintaining of segregated facilities.
9. In accordance with KRS45A.110(2), the undersigned hereby swears under penalty of perjury that he/she has not knowingly violated any provision of the campaign finance laws of the Commonwealth of Kentucky and that the award of a contract to the bidder will not violate any provision of the campaign finance laws of the Commonwealth of Kentucky.

READ CAREFULLY - SIGN IN SPACE BELOW - FAILURE TO SIGN INVALIDATES BID

SIGNED BY _____ TITLE _____

PRINT NAME _____ FIRM _____

ADDRESS _____ AREA CODE & PHONE _____

CITY STATE ZIP CODE FAX _____

BIDDER'S EMAIL _____ DATE _____

FP-3

004100B01 Form of Proposal

Dated: 02/2023

Applies to: All Projects

University of Kentucky

BUSINESS CLASSIFICATION

Please complete this form which is necessary for the University of Kentucky vendor database.
Mark only one classification. Refer to "Definitions" for assistance in determining correct classification.

- | | |
|--|--|
| (01)___Small Business | (06)___Woman-Owned Large Business |
| (02)___Large Business | (07)___Disadvantaged Woman-Owned
Small Business |
| (03)___Disadvantaged Small
Business | (08)___Disadvantaged Woman-Owned
Large Business |
| (04)___Disadvantaged Large
Business | (09)___Other |
| (05)___Woman-Owned Small Business | |

DEFINITIONS

- (01) **SMALL BUSINESS:** A business concern that is organized for profit, is independently owned and operated, is not dominant in the field of operations in which it is bidding and meets the size standards as prescribed in the Code of Federal Regulations, Title 13, Part 121. Consult your local or district Small Business Administration (SBA) office if further clarification is needed.
- (02) **LARGE BUSINESS:** A business concern that exceeds the small business size code standards established by SBA.
- (03) **DISADVANTAGED SMALL BUSINESS:** A business concern (a) that is at least 51 percent owned by one or more socially and economically disadvantaged individuals (as defined below), or a publicly owned business, having at least 51 percent of its stock owned by one or more socially and economically disadvantaged individuals; and (b) has its management and daily business operations controlled by one or more such individuals. Socially and economically disadvantaged individuals include Asian, Black/African American, Hispanic or Latino, Native American, Native Hawaiian/Pacific Islander, Women, Disabled, Veteran and Disabled Veteran, and other minorities or individuals found to be disadvantaged by the SBA.
- (04) **DISADVANTAGED LARGE BUSINESS:** A concern that meets the definition of socially and economically disadvantaged individuals as defined above, but which is not a small business by the SBA's size standards.
- (05) **WOMAN-OWNED SMALL BUSINESS:** A small business that is at least 51 percent owned by a woman or women who also control and operate it. "Control" in this context means exercising the power to make policy decisions. "Operate" means actively involved in the day to day management.
- (06) **WOMAN-OWNED LARGE BUSINESS:** A concern that meets the definition of woman owned and operated, but which is not a small business by the SBA's standards.
- (07) **DISADVANTAGED, WOMAN-OWNED SMALL BUSINESS:** A concern that meets the definition of both (03) and (05) above.
- (08) **DISADVANTAGED, WOMAN OWNED LARGE BUSINESS:** A concern that meets the definition of both (04) and (06) above.
- (09) **OTHER:** A concern that does not meet any of the above definitions.

THE FOLLOWING ITEMS ARE HERewith ENCLOSED AS REQUIRED BY KRS 45A.185

1. Bid Bond or Certified Check in an amount not less than five percent (5%) of total Bid.
2. List of Proposed Subcontractors and Unit Prices. (if required)
3. Authentication of Bid and Statement of Non-Collusion and Non-Conflict of Interest.
4. List of Materials and Equipment.
5. **VENDOR NUMBER:** It is imperative that you furnish your Federal Employer Identification Number in the space provided below. Failure to do so may delay the processing of purchase orders issued to your firm.

(Nine Digit Number)

BIDDER'S QUALIFICATIONS

The Commonwealth of Kentucky Model Procurement Code (KRS 45A.080) requires contracts to be awarded, "to the responsive and responsible bidder whose bid offers the best value" to the University of Kentucky. In order to determine if the Bidder has the experience, qualifications, resources and necessary attributes to provide the quality workmanship, materials and management required by the plans and specifications, the Bidder may be required to complete and submit the information requested on the University of Kentucky Contractor Bidder Determination of Responsibility questionnaire. Failure to provide the information requested on the questionnaire or failure to provide any additional submittals or information that may be requested to make this determination may be grounds for a declaration of non-responsibility with respect to the Bidder. A copy of the Contractor Determination of Responsibility questionnaire is available upon request to all Bidders.

TIME LIMIT FOR EXECUTION OF CONTRACT DOCUMENTS

It is further agreed, that in the event this Proposal is accepted by the Owner and the undersigned shall fail to execute the Contract and furnish satisfactory Payment and Performance Bond within ten (10) consecutive calendar days from the date of notification of the award of the Contract, the Owner may at his option, determine that the undersigned has abandoned the Contract and thereupon, the Proposal shall become null and void and the Bid guarantee, check or Bid bond which accompanied it shall be forfeited and become the property of the Owner as liquidated damages for each failure and no protest pursuant to such action will be made. If the Undersigned shall execute the Contract, and furnish satisfactory Payment Bond and Performance Bond, it is understood that the Bid Guarantee or Bid Bond will be returned to the undersigned by the Owner.

UNIT PRICES

NOTE: Unit Prices shall include the furnishing of all labor, materials, supplies and services and shall include all items of cost, overhead and profit for the Contractor and any subcontractor involved, and shall be used uniformly without modifications for either additions or deductions. The Unit Prices as established shall be used to determine the equitable adjustment of the Contract Price in connection with changes, deletions or extra work performed under the Contract and the "Rules of Measurement" set forth in the General Conditions shall govern.

All Bidders will be required to complete and submit the following information Unit Prices with the bid.

The apparent low bidder is requested to attend a post bid meeting which will be scheduled at a later date.

<u>DESCRIPTION OF WORK</u>	<u>UNIT PRICE</u>	<u>Type</u>
Topsoil (placed) – per cubic yard		
Fill Dirt (placed) – per cubic yard		
Compacted Stone Base (placed) – per cubic yard		
Compacted DGA (placed) – per cubic yard		
Geotextile fabric – per square foot		

BIDDER'S PROPOSED MAJOR SUBCONTRACTORS AND SUPPLIERS

*****DUE BY BID DEADLINE*****

For the purposes of this form, a major subcontractor or supplier is a person or entity that will have a direct or assigned contract or purchase order for the performance or supply of any item listed below if the bidder is successful.

All subcontractors must comply with the laws of the Commonwealth of Kentucky and the policies and procedures of the University of Kentucky as administrated by the UK Capital Construction Procurement Section and Capital Project Management Division.

If the bidder will self-perform these items, list "Self-Perform" for each applicable item.

No major subcontractor or supplier may be added or changed without written consent of the Owner's representative after the bid deadline.

The apparent low bidder may be required to attend a post bid review meeting which will be scheduled at a later date.

ITEM DIVISION OF WORK

NAME AND ADDRESS OF SUBCONTRACTOR

LIST OF MATERIALS AND EQUIPMENT

Each item listed under the different phases of construction must be clearly identified so that the Owner will definitely know what the Bidder proposes to furnish.

The use of a manufacturer's or dealer's name only, or stating "as per Plans and Specifications," will not be considered as sufficient identification.

Where more than one "Make" or "Brand" is listed for any one item, the Owner has the right to select the one to be used.

The apparent low bidders will be required to complete and submit the following information by twelve o'clock (12) noon of the first working day following the bid opening. The information requested in this submittal is required to assist the University in determining contractor responsibility to complete the project being bid.

The apparent low bidder is requested to attend a post bid meeting which will be scheduled at a later date.

<u>ITEM</u>	<u>MATERIALS AND EQUIPMENT</u>	<u>BRAND OR MANUFACTURER</u>
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IDENTIFICATION OF DIVERSE BUSINESS ENTERPRISE SUBCONTRACTORS AND MATERIAL SUPPLIERS

Diverse Business Enterprises (DBE) consist of minority, women, disabled, veteran and disabled veteran owned business firms that are at least fifty-one percent owned and operated by an individual(s) of the aforementioned categories. Also included in this category are disabled business enterprises and non-profit work centers for the blind and severely disabled.

MBE, WBE, Veterans, Disable Veterans and Disabled make up Diverse Business Enterprises, DBE.

Participation of DBE owned Contractors and businesses.

The University of Kentucky encourages and supports the participation Diverse Business Enterprises. Please list Subcontractors and Material Suppliers according to following Ethnic Vendor List or if they are a Woman Owned Business:

- Asian
- Black/African American
- Hispanic or Latino
- Native American Native Hawaiian/Pacific Islander
- White
- Other

1. DBE (Ethnic or Woman) Subcontractors

2. DBE (Ethnic or Woman) Material Suppliers

SUPERINTENDENT

In accordance with Article 17 of the General Conditions a full-time superintendent will be required on this project. Below, please list the superintendent your firm will employ on this project. The successful Bidder will be required to furnish a resume of the superintendent's qualifications and or past projects.

List the Superintendent's Name

Quicksand Buildings

Addendum items

A Special Inspections firm will be employed by UK.

These projects shall use the current 2018 Kentucky Building Code and all applicable codes as listed in the 2018 KBC. Building drawings will be reviewed by UK for permitting.

All revisions on drawings are clouded and categorized as revision 1. Revised architectural drawings are included with this addendum.

Metal building shop drawings are required to be submitted before construction and shall be stamped by the metal building manufacturer's structural engineer.

PEMB specifications are included in the Project Manual.

Approved manufacturer/supplier qualifications are as specified in the Project Manual. If you are a member of the MBNA and/or have current IAS AC472 Accreditation, you are an approved manufacturer/supplier.

"Ceco" may be added if they meet the qualifications as outlined in the project manual and this addendum.

The building sidewall columns shall be straight to 9'-0" then may taper. Install metal wall surround at steel columns from floor to structure above. Do not surround the sloped section of the columns. See revised plans and elevations.

The 4" offset shall remain as shown on the structural drawings. A 6" offset is not acceptable.

Whichever design, semi-enclosed or enclosed, produces the more stringent design shall be used.

Purlins are L240; girts are L360. Frame drift H/100

Metal door and frames shall remain 14 gage.

Wood solid core doors shall be birch veneer with a polyurethane finish. Metal doors shall be primed and painted.

Downspouts shall be routed to a metal downspout boot ("Zurn" or equal) and then routed underground with 4" plastic pipe to daylight with animal guard at discharge.

Metal wall and interior liner panels shall be 26 gauge. Metal roof panels shall be 26 Gage, lap seam roof panels with exposed fasteners.

It is acceptable to use 6" metal studs with metal channels to achieve the desired wall width. Use 8" girts between column where shown on plans.

Install R-5 thermal blocks on roof purlins with R-30 fiberglass liner insulation per the International Energy Code for climate zone 4. Install roof insulation over conditioned interior areas only. Fiberglass liner

insulation system may be used to achieve R-38. Walls that surround a conditioned space shall receive R-20 insulation minimum.

Remove the 12" roof overhang at rake and soffit. Use details 5 & 9 on sheet A3.0.

Varco Pruden Buildings is an acceptable manufacturer. See 131250-3, 2.1 in Project Manual.

All steel shall be gray colored primer. Paint all exposed metal building steel with alkyd urethane enamel, semi-gloss, color to be selected by owner from standard colors.

Install 1" rigid insulation at perimeter of heated areas in lieu of ¼" expansion joint material (Detail E2.1). Use a metal base as part of metal wall to cover the joint.

Multipurpose

Revise specified overhead doors to "Overhead, Everserve model 625S", insulated springless rolling service door, 24 gage powder coated with insulated vision lites.

Install water resistant gypsum board on all walls and ceilings in restrooms, baths laundry rooms and mechanical rooms.

Provide detail E/S2.1 (turn-down slab) at exterior wall with door D112 and at longitudinal 8" wall that divides the open bays from the closed bays with overhead doors. Install a 1" rigid insulation at turn down for a thermal break. Install 4" metal base to cover.

Provide additional piers and footings on interior walls grid line 2 and 7, similar to grid line 1 and 8.

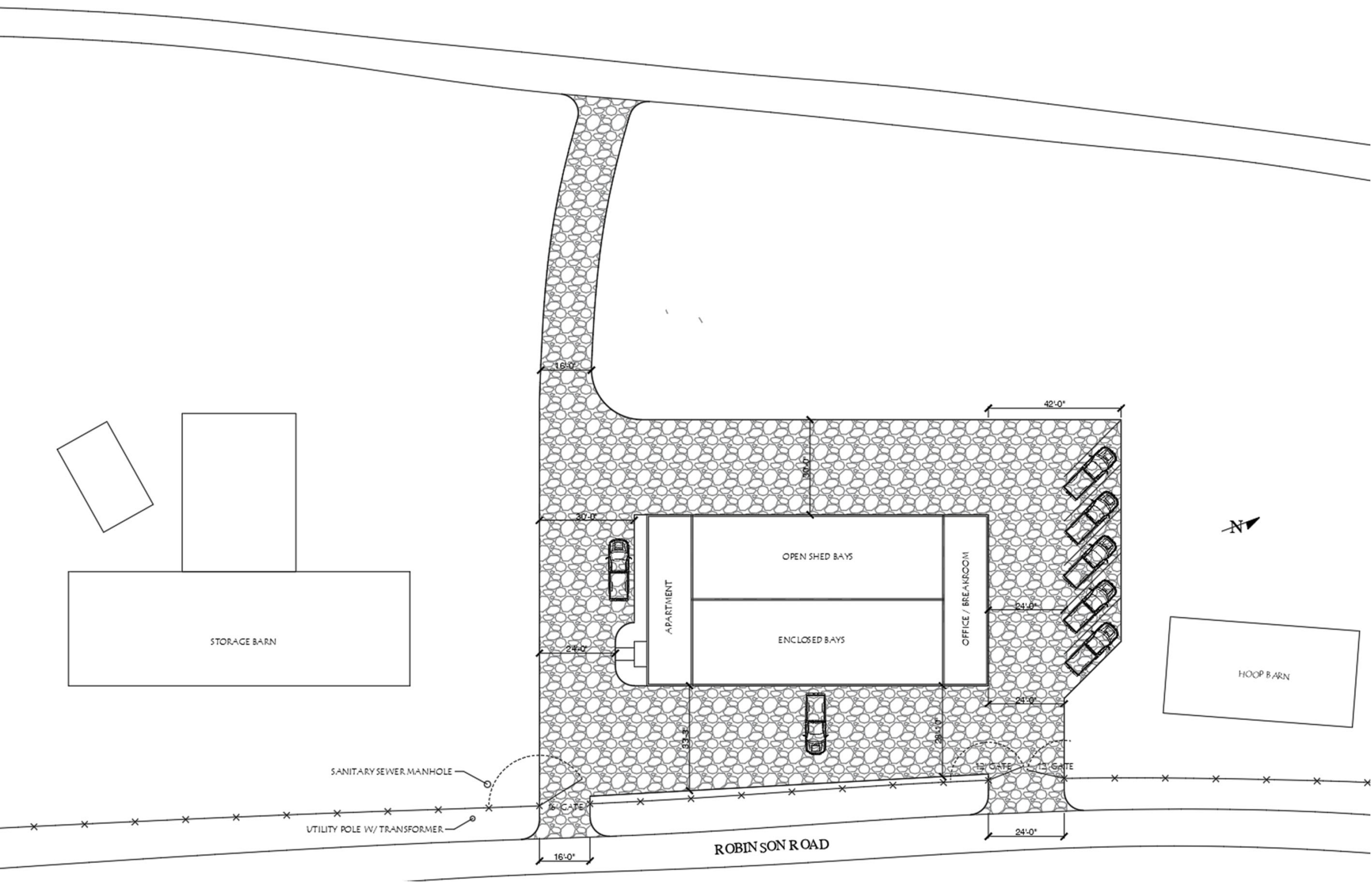
Provide a portal frame on grid "A" and grid "D" on grid line 7 and 8.

Windows may be single hung similar to "Anderson 100 series", or equal, no grids.

If not part of PEMP contractor shall provide the longitudinal framing and wall as shown in drawings from floor to underside of roof deck.

"Flat-topped pre-assembled building canopies may be provided in lieu of the sloped canopy shown on drawings.

RCARS MULTIPURPOSE AG BUILDING

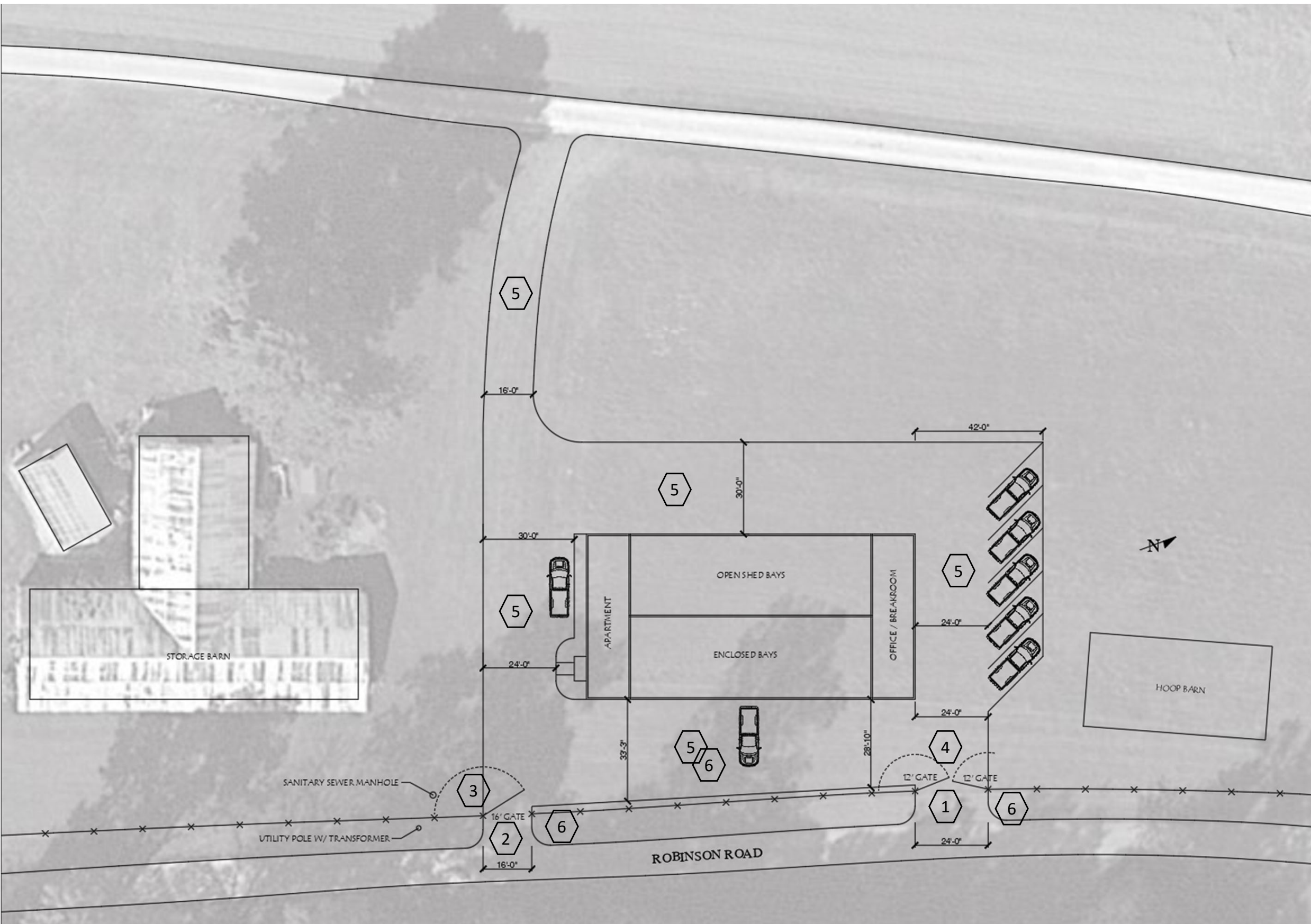


NOTES

- 1 PARKING AND DRIVEWAY AREA IS APPROX. 17,000 SQ. FT. (SHADED)
- 2 EXCAVATE 10" OF EARTH. CONTRACTOR TO MOVE SPOIL TO ONSITE LOCATION LESS THAN 0.25 MILES FROM PROJECT SITE
- 3 PROVIDE AND INSTALL GEOTECTILE FABRIC UNDER GRAVEL PARKING AND DRIVE AREAS
- 4 PROVIDE AND INSTALL 8" OF COMPACTED STONE BASE
- 5 PROVIDE AND INSTALL TOP LAYER OF 4-6" OF COMPACTED DENSE GRADE GRAVEL
- 6 ALL AREAS SHOULD HAVE POSITIVE DRAINAGE AWAY FROM BUILDING
- 7 DRIVEWAY SHOULD BE CROWNED

A0.0 Site Plan – GRAVEL PARKING & ROADWAY (updated 9/20/23)

RCARS MULTIPURPOSE AG BUILDING

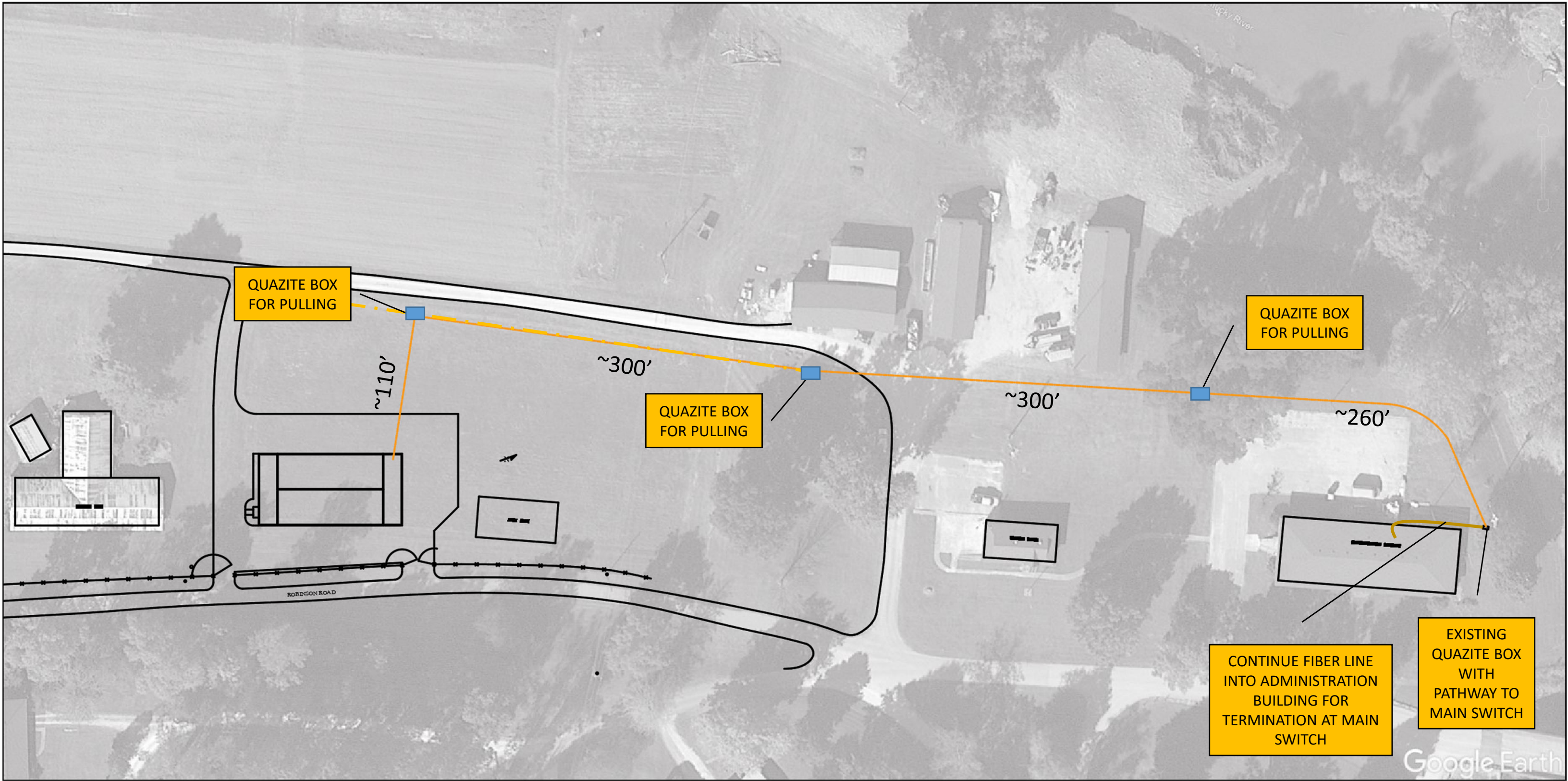


NOTES

- 1 REMOVE 24' OF EXISTING FENCING AND PROVIDE NECESSARY END POSTS FOR HANGING GATES.
- 2 REMOVE 16' OF EXISTING FENCING AND PROVIDE NECESSARY END POSTS FOR HANGING GATE.
- 3 PROVIDE 16' FARM GATE FOR SECURITY
- 4 PROVIDE DOUBLE 12' FARM GATES FOR SECURITY
- 5 REFER TO A0.0 SITE PLAN – GRAVEL PARKING & ROADWAY FOR DETAILS
- 6 INSTALL CULVERT UNDER DRIVE

A0.0 Site Plan – DETAILS (updated 9/20/23)

RCARS MULTIPURPOSE AG BUILDING



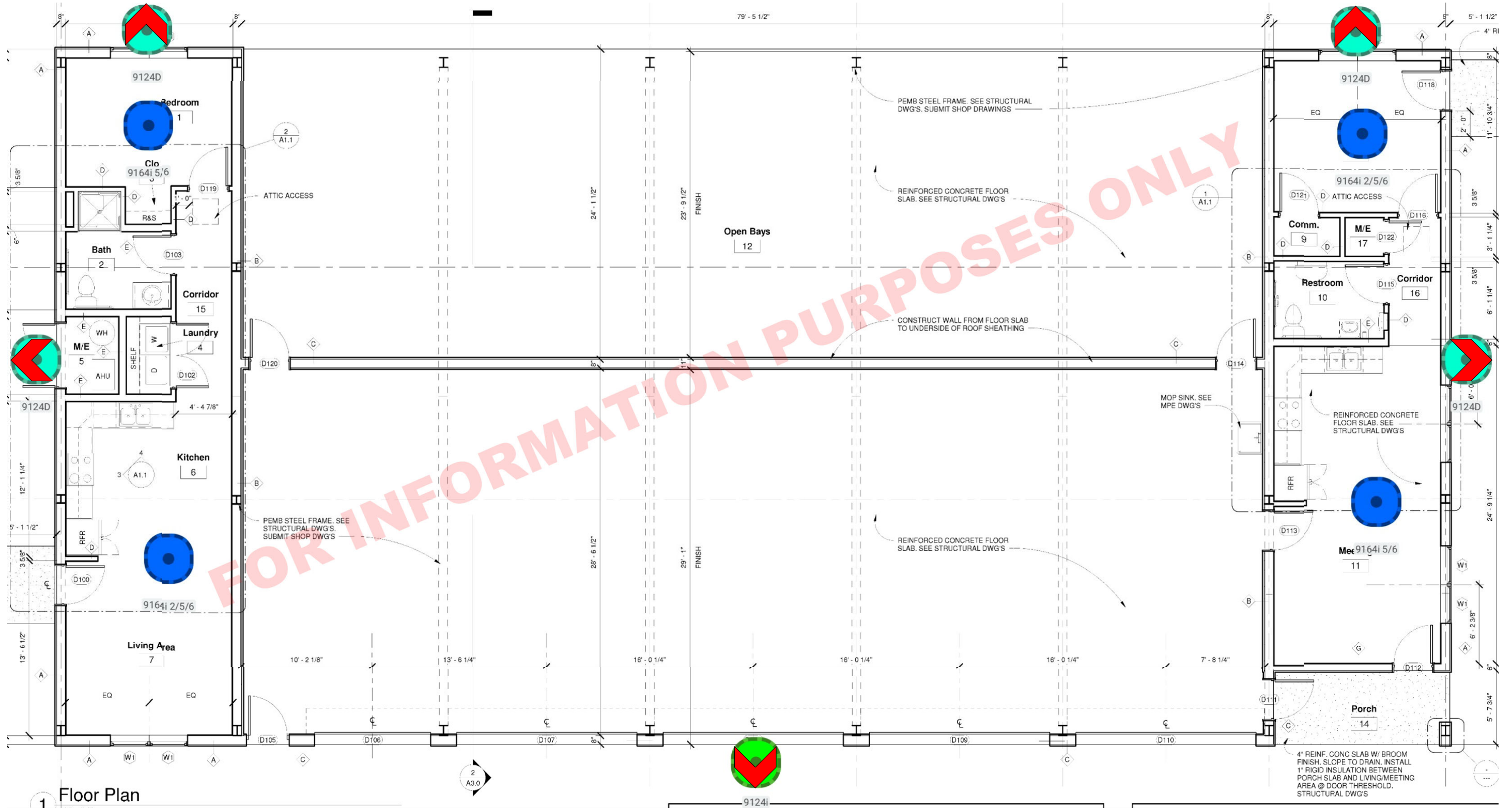
A0.0 Site Plan – Communications (updated 9/20/23)

NOTE: INSTALL (1)4" CONDUIT FROM NEW BUILDING TO EXISTING ADMINISTRATION BUILDING. TRENCH, BACKFILL, PATCH AND REPAIR TO MATCH EXISTING. PROVIDE (1) 12 STRAND SINGLE MODE F.O. CABLE INCLUDING TERMINATIONS & TESTING. PROVIDE MIN. 24X24 QUAZITE PULL BOXES AS SHOWN ON PLAN. DISTANCE BETWEEN PULL BOXES SHOULD NOT EXCEED 300'. COORDINATE LOCATION OF PULL BOXES WITH OWNER BEFORE INSTALLATION.



RCARS Wireless Network Design

Multipurpose Building



Task ID:

EST0004540
ESTSK0013688

Engineer:

Nick Rhodes

Date:

9/6/2023

Information Technology Services
Network Design Group

see blue.™



RCARS Wireless Network Design

Multipurpose Building – Required Materials

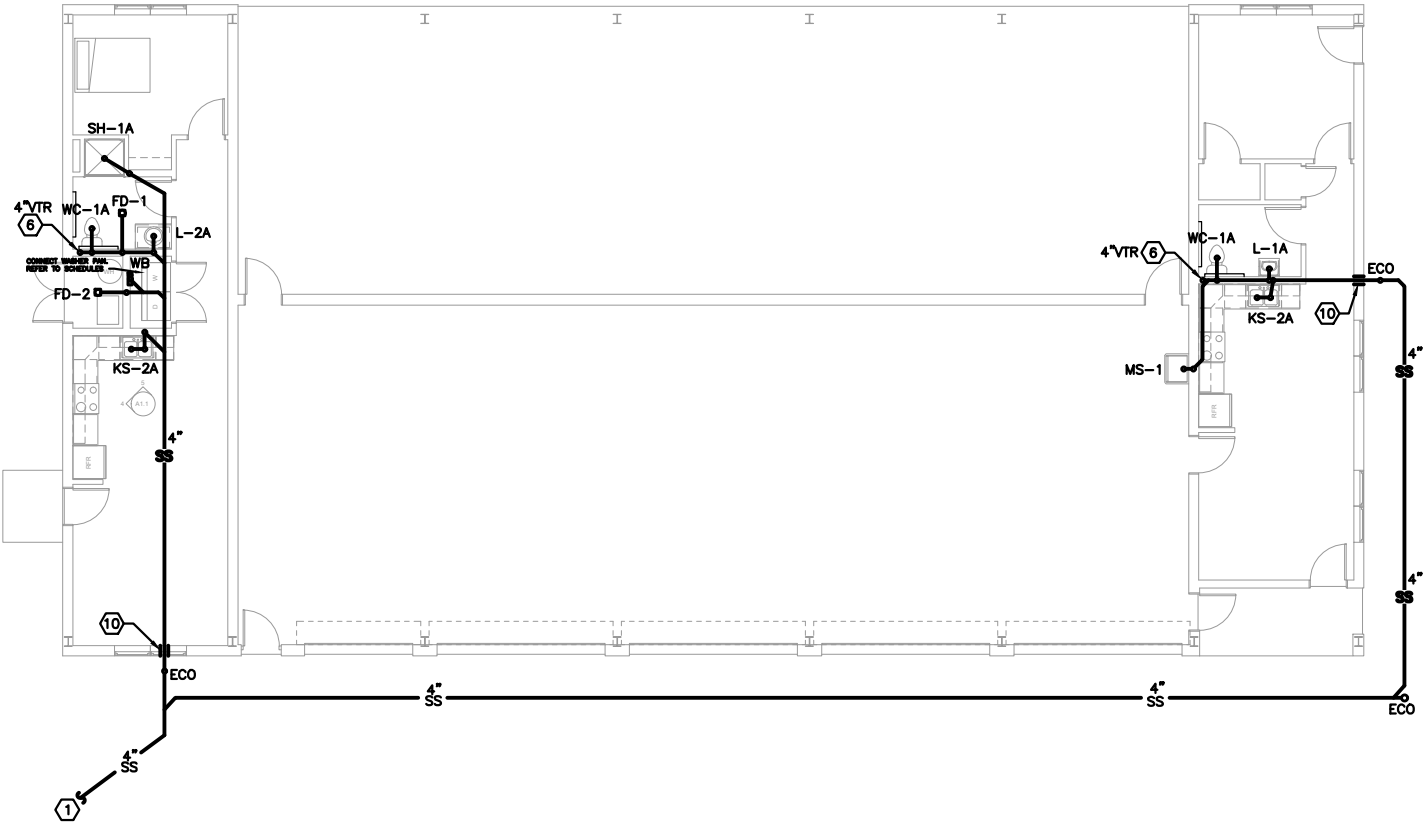
NOTE: UK TO PROVIDE AND INSTALL DEVICES

All 9124D & 9124i APs require 802.3bt/PoE++/
UPoE to operate with full functionality.

Quantity	Description	Item Number
4	Cisco 9164i Wireless Access Point	CW9164I-B
4	Cisco 9124D Wireless Access Point	C9124AXD-B
1	Cisco 9124i Wireless Access Point	C9124AXI-B
5	Cisco 9124 Pole/Wall Mount	AIR-MNT-VERT1=

Please mount all 9124D & 9124i APs at a height of 10' with the AP facing in the direction indicated by the red arrow. The single exterior 9124i may be mounted above the bay door or shifted to the nearby support wall between bay doors if necessary.

RF Profile
2.4GHz: 2-5dBm
5GHz: 8-11dBm
6GHz: 12-15dBm

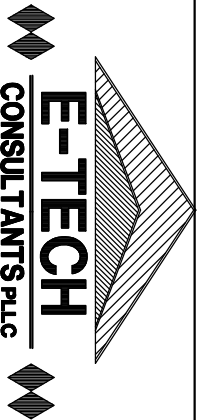


CODED SHEET NOTES:



- ① CONTRACTOR TO EXTEND SEWER TO SANITARY MANHOLE. SEE SITE PLAN FOR LOCATION, VIF.

PROJECT: UK MULTIPURPOSE AG BUILDING
 TITLE: PLUMBING PLAN
 DATE: 9/11/2023
 SCALE: 1/16" = 1'-0"
 CHECKED BY: W. GRANT WILSON, PE



378 PARK AVENUE, LEXINGTON, KY 40502 (502) 254-4200

DRAWING NO.

P1.1

9/20/2023 10:51:08 AM
\\server\ac\Share\Firm - Plans\Office - Super\University of Kentucky\Quicksand\Multipurpose AG Building\AG Building
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GRADING AND DRAINAGE NOTES:

1. ALL EARTHWORK FOR THIS PROJECT SHALL BE UNCLASSIFIED EXCAVATION TO PLAN BOTTOM DEPTH. PLAN BOTTOM DEPTH IS DEFINED AS THE LOWEST ELEVATION OF EXCAVATION. THIS INCLUDES BOTTOM OF EXCAVATION FOR FOUNDATIONS, UTILITIES, ROADS, PARKING, SIDEWALKS, REQUIRED UNSUITABLE SOILS UNDERCUTTING AND/OR ROCK REMOVAL AS INDICATED OR NOTED ON DRAWINGS.
2. AREAS THAT WILL SUPPORT FOUNDATIONS, FLOORS, PAVEMENTS, SHALL BE PROPERLY PREPARED.
3. PRIOR TO CONSTRUCTION OR THE PLACEMENT OF NEW ENGINEERED FILL, THE EXPOSED SUBGRADE SHALL BE EVALUATED. THE EVALUATION SHALL INCLUDE PROOFROLLING OF THE EXPOSED SUBGRADE.
4. THE PRINCIPLES OF POSITIVE DRAINAGE SHALL BE APPLIED UNIVERSALLY ACROSS THE SITE. WATER SHALL BE MOVED AWAY FROM THE BUILDINGS. WATER SHOULD NOT BE ALLOWED TO POND AT LOW POINTS OR IN LOW AREAS.
5. AFTER COMPLETION OF CONSTRUCTION, THE CONTRACTOR SHALL PERFORM SITE CLEANUP TO REMOVE ALL TRASH, DEBRIS, EXCESS MATERIALS, EQUIPMENT, AND OTHER DELETERIOUS MATERIALS ASSOCIATED WITH CONSTRUCTION. THE SITE CONTRACTOR IS EXPRESSLY RESPONSIBLE FOR ENSURING THE SITE IS CLEAN AND IN OPERABLE CONDITION AT THE TIME OF FINAL ACCEPTANCE.

UTILITIES

THE UTILITIES ARE SHOWN ON THE DRAWINGS AS ACCURATELY AS THEY HAVE BEEN PROVIDED TO THE ARCHITECT. THEIR LOCATIONS ARE NOT GUARANTEED. IT IS THE CONTRACTORS RESPONSIBILITY TO CONTACT ALL UTILITY COMPANIES AND TO HAVE ALL UTILITIES FIELD LOCATED, PRIOR TO STARTING CONSTRUCTION. THE UTILITIES SHOWN REPRESENT OBSERVABLE FEATURES ALONG WITH INFORMATION PROVIDED BY THE RESPECTIVE UTILITY COMPANIES, AND IS THEREFORE NOT WARRANTED. PRIOR TO CONSTRUCTION, THE CONTRACTOR IS TO FIELD VERIFY ALL UTILITY LOCATIONS, SIZES, TYPE ETC. NEEDED TO COMPLETE THE WORK OF THE CONTRACT. THE CONTRACTOR SHALL NOTIFY THE ARCHITECT IF A CONFLICT COULD EXIST. IF THE CONTRACTOR PROCEEDS WITHOUT CONTACTING THE UTILITY COMPANIES AND DOES NOT NOTIFY THE ARCHITECT OF POTENTIAL CONFLICTS HE DOES SO AT HIS OWN RISK.

EROSION SEDIMENT CONTROL NOTES

1. CONTRACTOR IS RESPONSIBLE TO PROVIDE EROSION SEDIMENT CONTROL MEASURES IN ACCORDANCE WITH CONTRACTOR CONSTRUCTION METHODS AND SCHEDULE. ANY ADDITIONAL ITEMS THAT ARE REQUIRED BY THE GOVERNING AUTHORITIES SHALL BE PROVIDED AT NO ADDITIONAL COST.
2. THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR REMOVING DIRT AND CONSTRUCTION DEBRIS CAUSED BY CONSTRUCTION ACTIVITIES FROM THE ADJACENT ROADWAYS FOR THE DURATION OF THE PROJECT.
3. CONTRACTOR IS SOLELY RESPONSIBLE FOR THE REMOVAL OF EROSION PREVENTION AND SEDIMENTATION CONTROL STRUCTURES AFTER CONSTRUCTION IS COMPLETE, BUT ONLY AFTER PROPER GROUND COVER HAS BEEN ESTABLISHED.
4. ALL EROSION CONTROL DEVICES SHALL BE PROPERLY MAINTAINED DURING ALL PHASES OF CONSTRUCTION UNTIL THE COMPLETION OF ALL CONSTRUCTION ACTIVITIES AND ALL DISTURBED AREAS HAVE BEEN STABILIZED. ADDITIONAL CONTROL DEVICES MAY BE REQUIRED DURING CONSTRUCTION IN ORDER TO CONTROL EROSION AND/OR OFFSITE SEDIMENTATION. ALL TEMPORARY CONTROL DEVICES SHALL BE REMOVED ONCE CONSTRUCTION IS COMPLETE AND THE SITE IS STABILIZED.
5. THE CONTRACTOR MUST TAKE NECESSARY ACTION TO MINIMIZE THE TRACKING OF MUD ONTO PAVED ROADWAY(S) FROM CONSTRUCTION AREAS AND THE GENERATION OF DUST.
6. LITTER, CONSTRUCTION DEBRIS, OILS, FUELS, AND BUILDING PRODUCTS WITH SIGNIFICANT POTENTIAL FOR IMPACT (SUCH AS STOCKPILES OF FRESHLY TREATED LUMBER) AND CONSTRUCTION CHEMICALS THAT COULD BE EXPOSED TO STORM WATER MUST BE PREVENTED FROM BECOMING A POLLUTANT SOURCE IN STORM WATER DISCHARGES.
7. **CONTAMINATED MATERIALS:** ALL PAINT, SOLVENT, PETROLEUM PRODUCTS (FUEL, LUBE OILS, GREASE AND CUTTING OILS) AND PETROLEUM WASTE PRODUCTS SHALL BE STORED IN CONTAINERS (SUCH AS DRUMS, CANS, OR CARTONS) SO THAT THESE MATERIALS ARE NOT EXPOSED TO STORM WATER. SUFFICIENT PRACTICES OF SPILL PREVENTION CONTROL, AND/OR MANAGEMENT SHALL BE PROVIDED TO PREVENT ANY SPILLS OF THESE POLLUTANTS FROM ENTERING A WATER OF THE STATE. ANY CONTAINMENT SYSTEM USED TO IMPLEMENT THIS REQUIREMENTS SHALL BE CONSTRUCTED OF MATERIALS COMPATIBLE WITH THE SUBSTANCES CONTAINED AND ALSO PREVENT CONTAMINATION OF GROUNDWATER.

A. CHEMICAL MANAGEMENT:

DO NOT STORE CHEMICALS, DRUMS AND BAGGED MATERIAL DIRECTLY ON THE GROUND. USE SECONDARY CONTAINMENT USE WOODEN PALLETS. PROVIDE SPILL CONTAINMENT DIKES AROUND CHEMICAL AND FUEL STORAGE TANKS. LINE WITH PLASTIC FILM TO PREVENT SOIL CONTAMINATION. STORE HAZARDOUS WASTES IN AN APPROPRIATE TYPE PF CONTAINER AND PROPERLY LABELED PER EPA, OSHA AND DOT REQUIREMENTS.

B. SOLID WASTE MANAGEMENT:

ONSITE TRASH SHOULD BE COLLECTED AND DISPOSED OF ON REGULAR BASIS. SANITARY SYSTEMS SHOULD BE REGULARLY SERVICED. REPAIR TRASH CONTAINERS AND DUMPSTERS ON AS NEEDED BASIS. WHERE POSSIBLE PROVIDE COVER FOR WASTE CONTAINERS TO PREVENT THE ENTRY OF RAINWATER AND LOSS OF CONTENTS BY WIND. MAINTAIN A CONTINGENCY PLAN IN THE CASE THAT HAZARDOUS OR TOXIC MATERIALS ARE DISCOVERED.

C. EQUIPMENT MAINTENANCE:

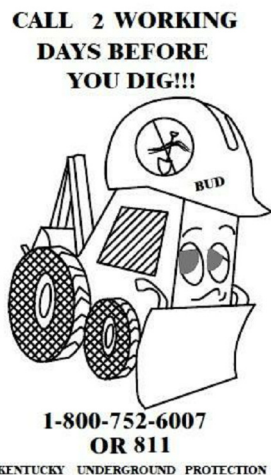
MAINTAIN WASTE FLUID CONTAINERS IN LEAK PROOF CONDITION. VEHICLES AND EQUIPMENT SHOULD BE INSPECTED ON EACH DAY OF USE. LEAKS SHOULD BE REPAIRED IMMEDIATELY OR THE PROBLEM VEHICLE(S) OR EQUIPMENT SHOULD BE REMOVED FROM THE PROJECT SITE.

D. DESIGNATED WASH DOWN AREAS; (BY GENERAL CONTRACTOR)

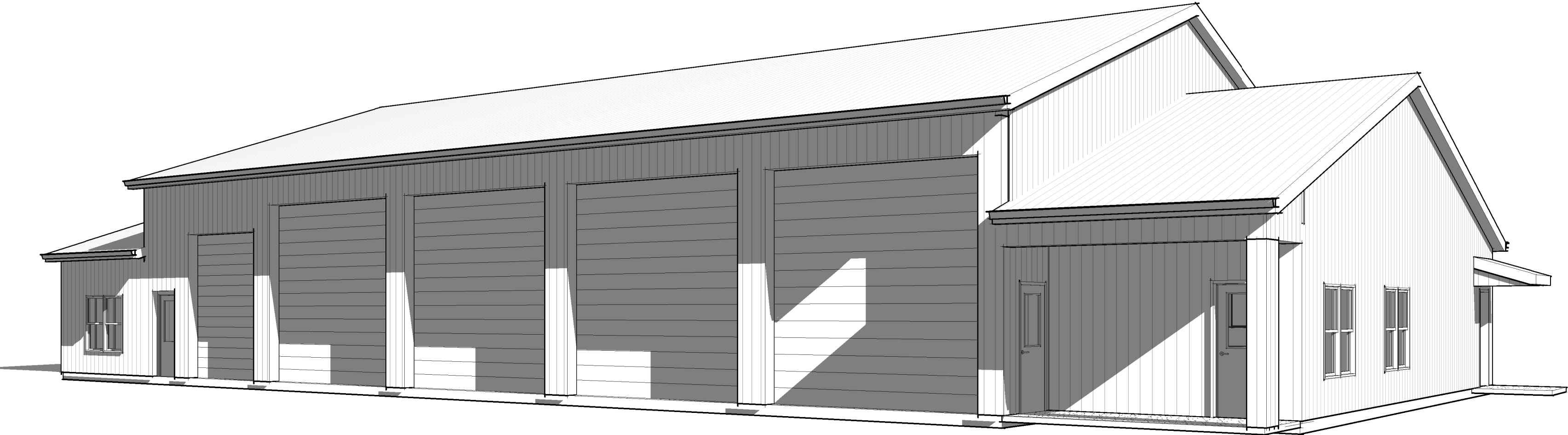
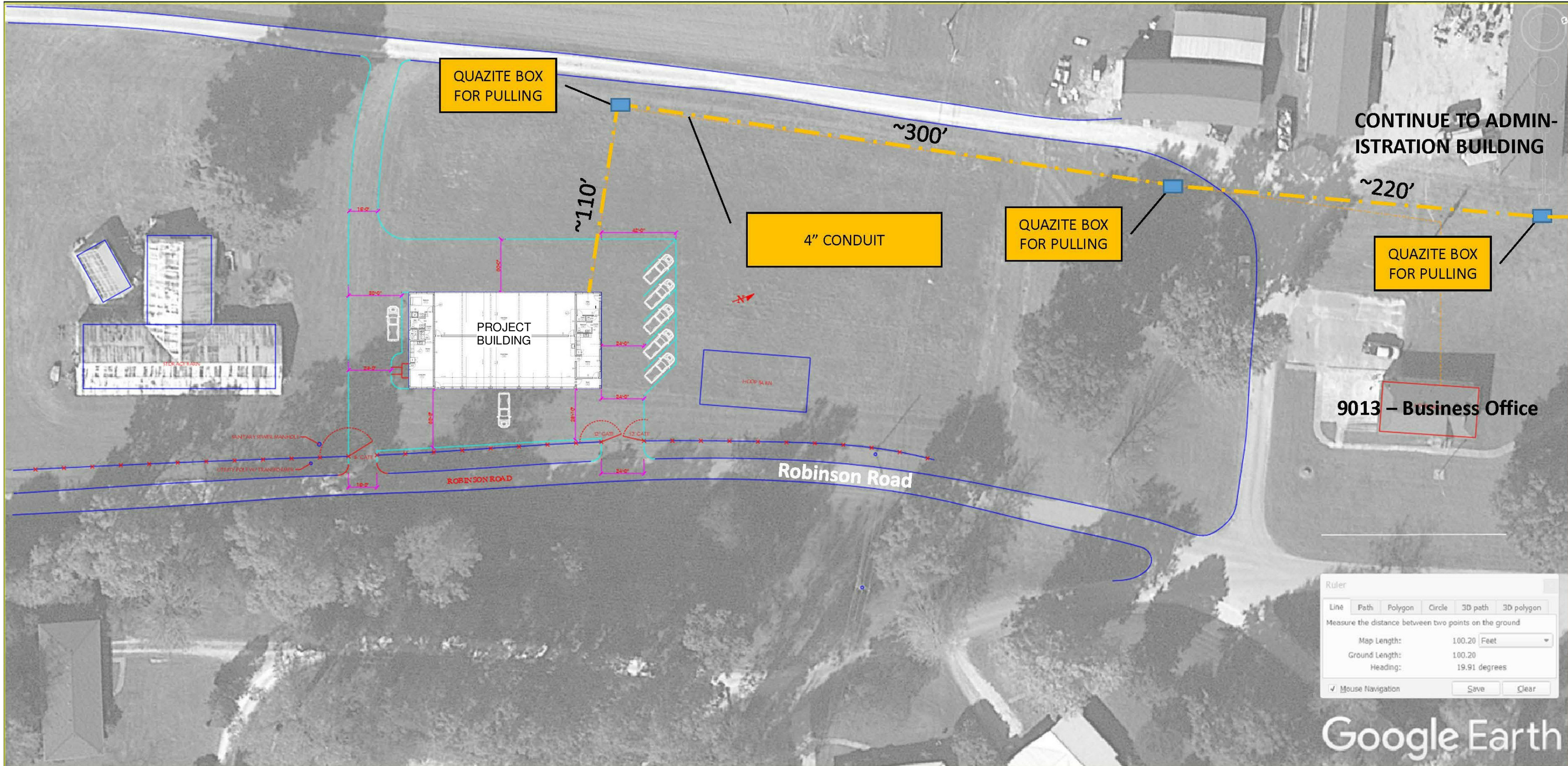
PERFORM WASHOUT OF CONCRETE IN DESIGNATED AREAS ONLY. PLASTIC LINING MATERIAL SHOULD BE A MINIMUM OF 10 MIL POLYETHYLENE SHEETING AND SHOULD BE FREE OF HOLES, TEARS OR OTHER DEFECTS. HARDENED CONCRETE SHOULD BE BROKEN UP, REMOVED AND DISPOSED OF IN ACCORDANCE WITH SOLID WASTE MANAGEMENT. MONITOR ON SITE CONCRETE WASTE STORAGE AND DISPOSAL PROCEDURE AT LEAST WEEKLY.

E. SPILL CONTAINMENT PLAN:

COMPLY WITH SUGGESTIONS AND REQUIREMENTS SET BY LOCAL FIRE DEPARTMENT. VERIFY WEEKLY THAT SPILL CONTROL, CLEAN UP MATERIALS ARE LOCATED NEAR MATERIAL STORAGE, UNLOADING AND USE AREAS. RESTOCK APPROPRIATE CLEAN UP MATERIALS AFTER A SPILL INCIDENT HAS OCCURRED.



1 Site Plan
N.T.S.



University of Kentucky

Multipurpose AG Building Quicksand, Kentucky

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1-Architectural	
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2-Structural	
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3-Mechanical	
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4-Plumbing	
P1.1	Plumbing Plans
P2.1	Plumbing Schedules & Details
5-Electrical	
E1.1	Electrical Plans
E2.1	Electrical Schedules & Details

GENERAL NOTES:

THE DRAWINGS, AS LISTED ON THIS SHEET, SHALL BE VIEWED AS A SET AND SHALL NOT BE SEPARATED INTO INDIVIDUAL COMPONENTS AND DRAWINGS. IT IS THE RESPONSIBILITY OF THE GENERAL CONTRACTOR AND THE SUB-CONTRACTORS TO COORDINATE THE DRAWINGS AND TRADES.

1. ALL WORK SHALL CONFORM TO THE LATEST EDITION OF THE KENTUCKY BUILDING CODE, AMERICANS WITH DISABILITIES ACT AND ALL PERTINENT NATIONAL AND LOCAL CODES.
2. ALL DIMENSIONS (UNLESS OTHERWISE NOTED) ARE TO FACE OF METAL STUD AND/OR CONCRETE AND CONCRETE.
3. DO NOT "SCALE" THESE DRAWINGS. IF QUESTIONS ARISE CONCERNING DIMENSIONS THE CONTRACTOR SHALL CONTACT THE ARCHITECT.
4. THE CONTRACTOR SHALL VERIFY LAYOUT OF BUILDING WITH ALL PROPERTY LINES, SET BACK REQUIREMENTS, UTILITIES, ETC., PRIOR TO BEGINNING CONSTRUCTION AND SHALL INFORM THE OWNER OF ANY CONFLICTS.
5. THE CONTRACTOR SHALL OBTAIN AND/OR VERIFY NECESSARY DIMENSIONS FOR ALL ITEMS AND CONSTRUCTION WHICH ARE PART OF THE WORK OR WHICH MAY AFFECT THE WORK, INCLUDING VERIFICATION OF DIMENSIONS AFFECTING FABRICATION AND/OR INSTALLATION OF FABRICATED ITEMS.
6. THE CONTRACTOR SHALL COORDINATE THE STRUCTURAL DESIGN WITH THE ARCHITECTURAL, MECHANICAL, PLUMBING AND ELECTRICAL DESIGN AND MAKE CERTAIN ALL PIPES, SLEEVES, DUCTS, INSERTS AND HOLES ARE LOCATED AND IN PLACE BEFORE EACH CONCRETE POUR. THE CONTRACTOR IS TO VERIFY ALL DIMENSIONS.
7. ALL CONCEALED WOOD USED IN CONSTRUCTION SHALL BE FACTORY FIRE RETARDANT TREATED.
8. ALL FINISHES AND COLOR SELECTIONS SHALL BE SELECTED AND COORDINATED WITH THE BUILDING OWNER AND/OR TENANT.
9. DOORS AND HARDWARE ALL INTERIOR DOORS SHALL BE APPROVED BY THE BUILDING OWNER. DOOR HARDWARE SHALL BE COMMERCIAL GRADE. LOCKSET DEADBOLTS SHALL HAVE INTERIOR THUMBTURN DEFEAT. ALL DOOR HANDLES SHALL BE LEVER TYPE, COMMERCIAL GRADE.
10. GYPSUM BOARD SHALL BE 5/8" THICKNESS. WET WALLS SHALL HAVE WATER RESISTANT GYPSUM BOARD FULL HEIGHT (TO 6" ABOVE SUSPENDED ACOUSTICAL CEILING).
11. IF REQUIRED, A SPECIAL INSPECTOR WILL BE EMPLOYED BY THE OWNER.
12. NOTE: PLACE FLASHING:
 - AT POINTS OF SUPPORT, SUCH AS SHELF ANGLES & LINTELS
 - AT WALL & ROOF INTERSECTIONS
 - AT THE HEADS, JAMBS AND SILLS OF EXTERIOR WINDOW AND DOOR
13. PROVIDE ELASTOMERIC JOINT SEALANTS THAT ESTABLISH AND MAINTAIN WATER TIGHT AND AIRTIGHT CONTINUOUS JOINT SEALS WITHOUT STAINING OR DETERIORATING JOINT SUBSTRATES. PROVIDE AN EXPERIENCED INSTALLER WHO HAS SPECIALIZED IN INSTALLING JOINT SEALANTS SIMILAR IN MATERIAL, DESIGN, AND EXTENT TO THOSE INDICATED FOR THIS PROJECT AND WHOSE WORK HAS RESULTED IN JOINT-SEALANT INSTALLATIONS WITH A RECORD OF SUCCESSFUL IN-SERVICE PERFORMANCE.
14. PROVIDE A LICENSED SOIL TREATMENT APPLICATOR TO TREAT SOIL AT SLABS-ON-GRADE, FOOTINGS, FOUNDATIONS (BEFORE CONSTRUCTION) AND PENETRATIONS, INCLUDING EXPANSION JOINTS, CONTROL JOINTS AND AREAS WHERE SLABS WILL BE PENETRATED. CO-ORDINATE SOIL TREATMENT APPLICATION WITH EXCAVATING, FILLING/GRADING AND CONCRETING OPERATIONS. PROVIDE A 5-YEAR WARRANTY FROM DATE OF SUBSTANTIAL COMPLETION.

BUILDING STATISTICS

USE GROUP	B
SPRINKLER SYSTEM	NO
ALLOWABLE BUILDING HEIGHT	3 STORIES, 55 FEET
ALLOWABLE AREA	23,000 SF
CONSTRUCTION TYPE	2B
NEW BUILDING AREA	5,882 SF
NEW BUILDING HEIGHT	1 STORY, 26 FEET TO ROOF RIDGE

SYMBOL LEGEND

101	DOOR TYPE TAG
11	WALL TYPE TAG
1 A101	DETAIL TAG
11	CASEWORK TYPE TAG
1 Ref 1 Ref A101 1 Ref	INTERIOR ELEVATION TAG

Symbol Legend
N.T.S.



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Cover
Multipurpose AG Building
Quicksand, Kentucky

Revision No.	Revision Description	Revision Date
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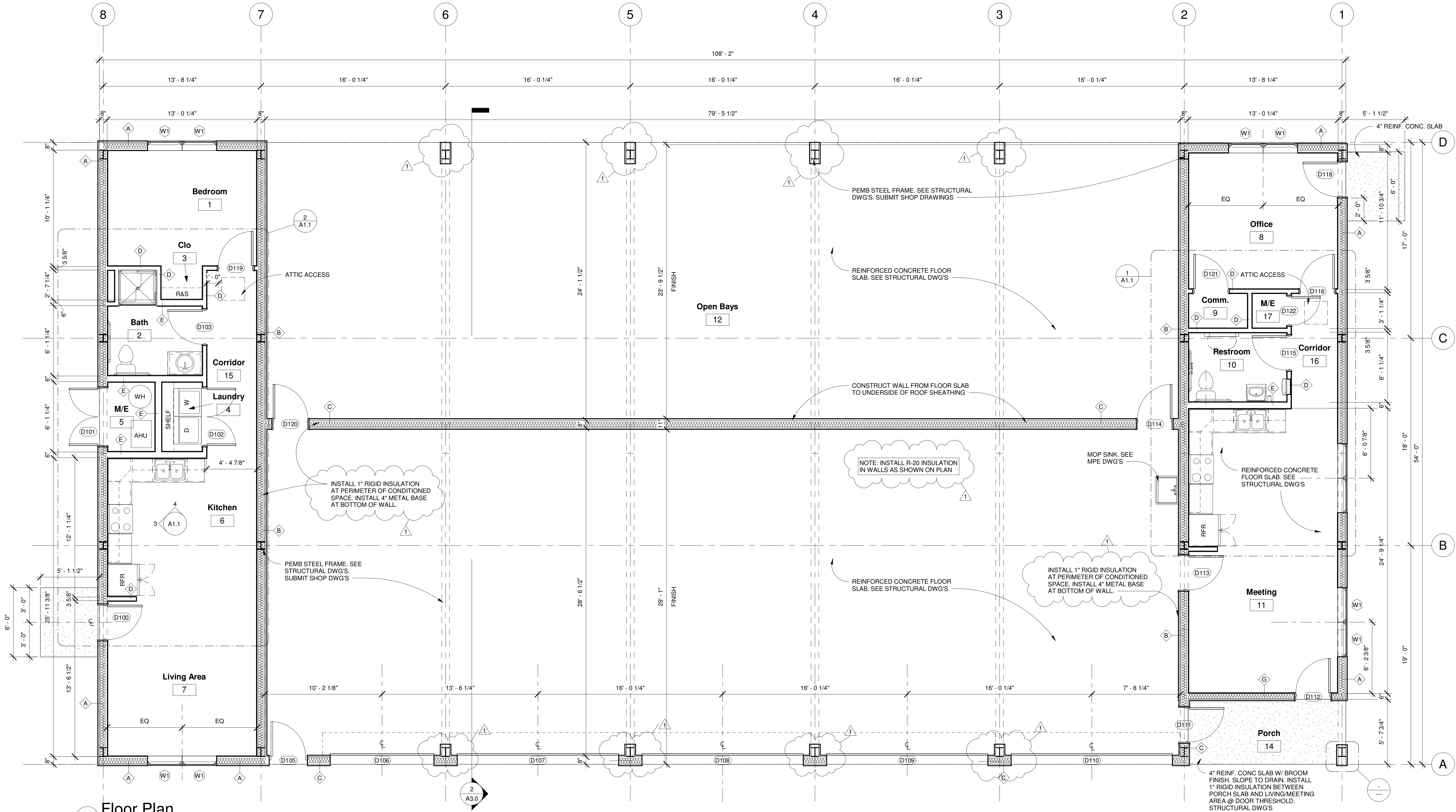
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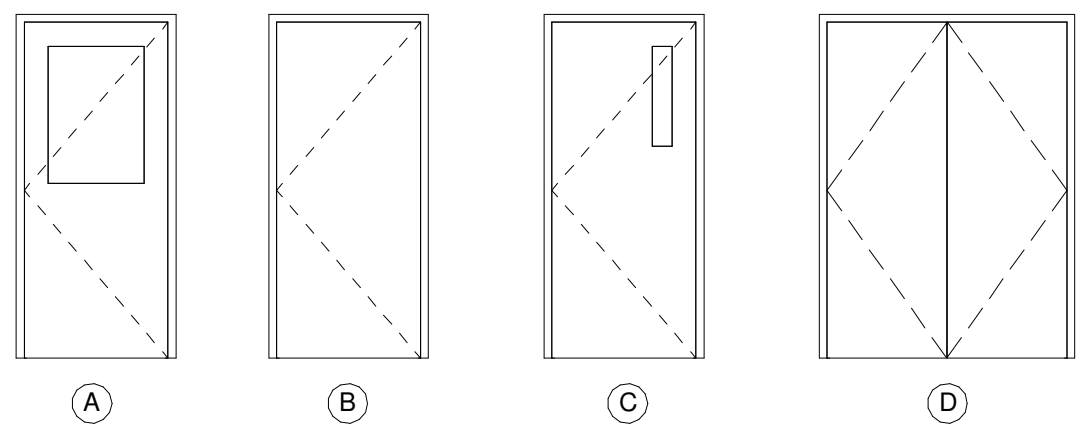


Revision No.	Revision Description	Revision Date
1	Addendum 1	Date 1

2301
6/1/2023
sma



1 Floor Plan
1/4" = 1'-0"



Door Elevations
1/4" = 1'-0"

HARDWARE SETS - "SCHLAGE", FLAIR LEVER, BRUSHED SATIN FINISH (SATIN CHROME - 626)

- FLAIR LEVER EXTERIOR PASSAGE, GRADE 1, FA SERIES, B60 DEADBOLT W/ INTERCHANGEABLE CORE. APARTMENT ENTRY. WEATHERSTRIPPING, 61 DOOR STOP.
- FLAIR LEVER STOREROOM FUNCTION, FA SERIES, ON ACTIVE LEAF. FLAIR DUMMY LEVER ON INACTIVE LEAF W/ FLUSHBOLT. "FALCON" 180 DEGREE CLOSER EA LEAF, HEAVY DUTY, SC70A WITH HOLD OPEN PARALLEL ARM ON EACH LEAF. HEAVY DUTY HINGES, SILENCERS
- FLAIR LEVER DUMMY, FA SERIES, ON EACH LEAF W/BALL CATCH.
- FLAIR LEVER, FA SERIES, STANDARD TRIM, PRIVACY SET, 61 DOOR STOP.
- FLAIR LEVER PASSAGE SET, FA SERIES, STANDARD TRIM, 61 DOOR STOP.

INSTALL DOUBLE PRONG ROBE HOOK ("LIBERTY HARDWARE") ON INTERIOR SIDE OF ALL BATHROOM, BEDROOM DOOR & OFFICE DOORS.

CONTRACTOR SHALL EMPLOY A HARDWARE SPECIALIST. SUBMIT SHOP DRAWINGS

Window Schedule

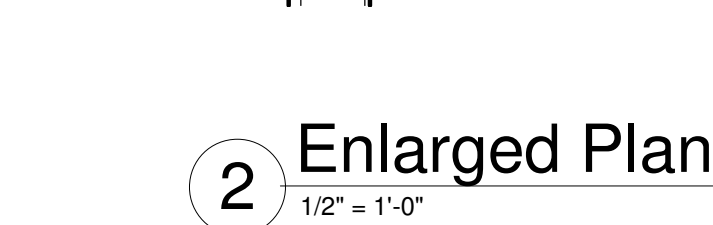
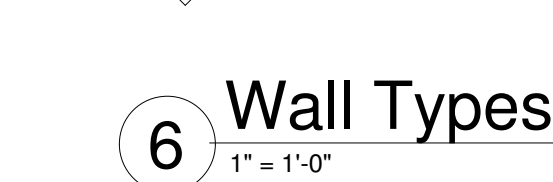
Type Mark	Width	Height	Head Height	Description	Egress	Comments
W1	3'-0"	5'-0"	7'-0"	SINGLE HUNG OPERABLE	YES	WINDOWS BY PEMB CONTRACTOR

Door Schedule

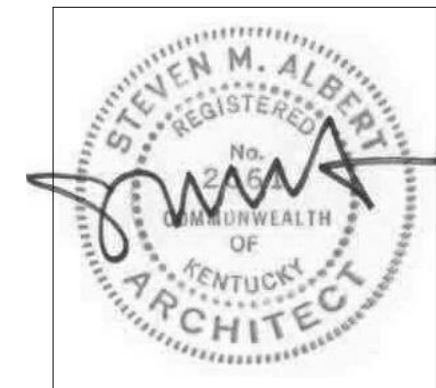
Mark	Width	Height	Finish	Frame Material	Door Elevation	Fire Rating	Hrldr Set	Comments
D100	3'-0"	7'-0"	H.M./PAINT	H.M./PAINT	A		1	
D101	5'-0"	7'-0"	H.M./PAINT	H.M./PAINT	D		2	
D102	5'-0"	7'-0"	S.C. WD./POLY	H.M./PAINT	D		3	
D103	3'-0"	7'-0"	S.C. WD./POLY	H.M./PAINT	B		4	
D105	3'-0"	7'-0"	H.M./PAINT	H.M./PAINT	A		1	
D106	9'-0"	12'-0"	-	-				OVERHEAD DOOR BY MANUFACTURER
D107	14'-0"	14'-0"	-	-				OVERHEAD DOOR BY MANUFACTURER
D108	14'-0"	14'-0"	-	-				OVERHEAD DOOR BY MANUFACTURER
D109	14'-0"	14'-0"	-	-				OVERHEAD DOOR BY MANUFACTURER
D110	14'-0"	14'-0"	-	-				OVERHEAD DOOR BY MANUFACTURER
D111	3'-0"	7'-0"	H.M./PAINT	H.M./PAINT	A		1	
D112	3'-0"	7'-0"	H.M./PAINT	H.M./PAINT	A		1	
D113	3'-0"	7'-0"	H.M./PAINT	H.M./PAINT	C		B-LABEL (90 MINUTE)	
D114	3'-0"	7'-0"	H.M./PAINT	H.M./PAINT	A		1	
D115	3'-0"	7'-0"	S.C. WD./POLY	H.M./PAINT	B		4	
D116	3'-0"	7'-0"	S.C. WD./POLY	H.M./PAINT	B		6	
D118	3'-0"	7'-0"	H.M./PAINT	H.M./PAINT	A		1	
D119	3'-0"	7'-0"	S.C. WD./POLY	H.M./PAINT	B		4	
D120	3'-0"	7'-0"	H.M./PAINT	H.M./PAINT	A		1	
D121	3'-0"	7'-0"	S.C. WD./POLY	H.M./PAINT	B		5	
D122	2'-6"	7'-0"	S.C. WD./POLY	H.M./PAINT	B		5	

Room Schedule

Number	Name	Floor Finish	Base Finish	Wall Finish	Ceiling Finish	Comments
1	Bedroom	VINYL PLANK	WOOD/PAINT	5/8" GYP. BD./PAINT	5/8" GYP BD./PAINT	
2	Bath	VINYL PLANK	WOOD/PAINT	5/8" GYP. BD./PAINT	5/8" GYP BD./PAINT	
3	Clo	VINYL PLANK	WOOD/PAINT	5/8" GYP. BD./PAINT	5/8" GYP BD./PAINT	
4	Laundry	VINYL PLANK	WOOD/PAINT	5/8" GYP. BD./PAINT	5/8" GYP BD./PAINT	
5	M/E	CONCRETE/SEAL	4" VINYL	5/8" GYP. BD./PAINT	5/8" GYP BD./PAINT	
6	Kitchen	VINYL PLANK	WOOD/PAINT	5/8" GYP. BD./PAINT	5/8" GYP BD./PAINT	
7	Living Area	VINYL PLANK	WOOD/PAINT	5/8" GYP. BD./PAINT	5/8" GYP BD./PAINT	
8	Office	VINYL PLANK	4" VINYL	5/8" GYP. BD./PAINT	5/8" GYP BD./PAINT	
9	Comm.	VINYL PLANK	4" VINYL	5/8" GYP. BD./PAINT	5/8" GYP BD./PAINT	
10	Restroom	VINYL PLANK	4" VINYL	5/8" GYP. BD./PAINT	5/8" GYP BD./PAINT	
11	Meeting	VINYL PLANK	4" VINYL	5/8" GYP. BD./PAINT	5/8" GYP BD./PAINT	
12	Open Bays	CONCRETE/SEAL	NONE	METAL SIDING	METAL	SMOOTH FINISH, SEAL
13	Closed Bays	CONCRETE/SEAL	NONE	METAL SIDING	METAL	SMOOTH FINISH, SEAL
14	Porch	CONCRETE	NONE	METAL	METAL	BROOM FINISH, SLOPE TO DRAIN
15	Corridor	VINYL PLANK	WOOD/PAINT	5/8" GYP. BD./PAINT	5/8" GYP BD./PAINT	
16	Corridor	VINYL PLANK	4" VINYL	5/8" GYP. BD./PAINT	5/8" GYP BD./PAINT	
17	M/E	VINYL PLANK	4" VINYL	5/8" GYP. BD./PAINT	5/8" GYP BD./PAINT	



Specialty Equipment Schedule		
Type Mark	Description	Comments
SP1	36" Grab Bar	
SP2	42" Grab Bar	
SP3	18" Grab Bar	
SP5	Two-Roll Toilet Paper Dispenser	
SP6	Recessed Sanitary Napkin Disposal	
SP7	Combination Paper Towel Dispenser/Waste Disposal	
SP8	Baby Changing Station	
SP10	18" X 36" SS Mirror	
SP11	Foam Soap Dispenser	



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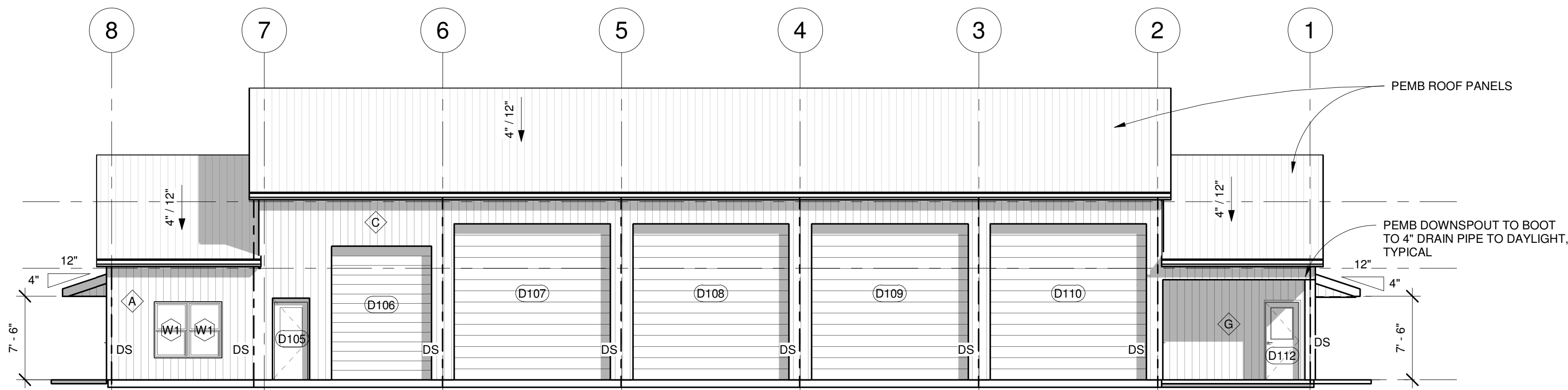
Enlarged Plans, Schedules & Details

Multipurpose AG Building

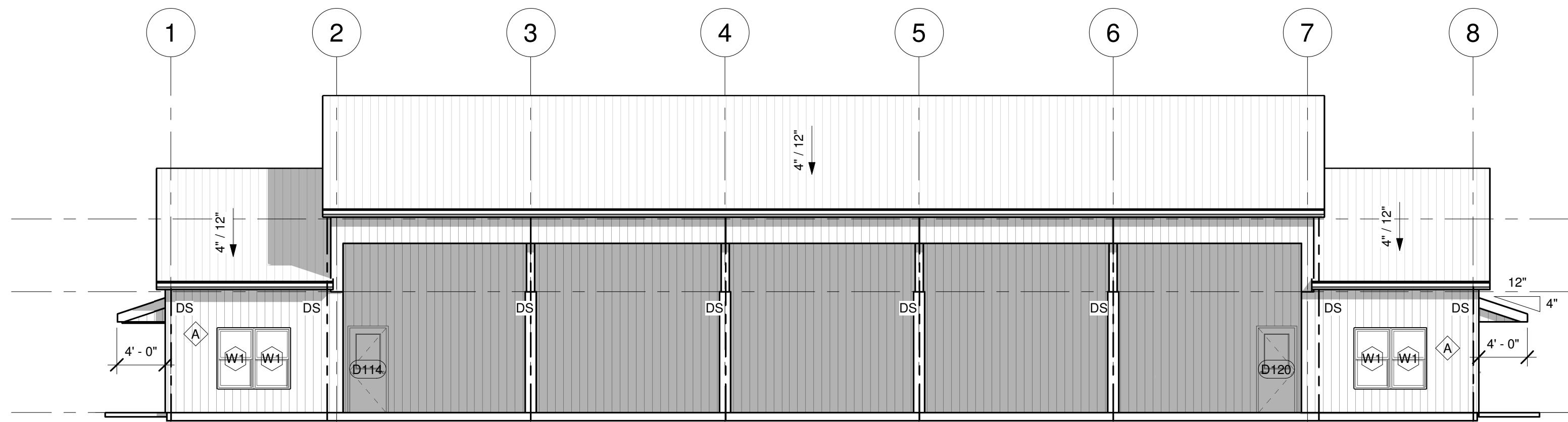
Quicksand, Kentucky

Revision No.	Revision Description	Revision Date
	Addendum 1	Date 1

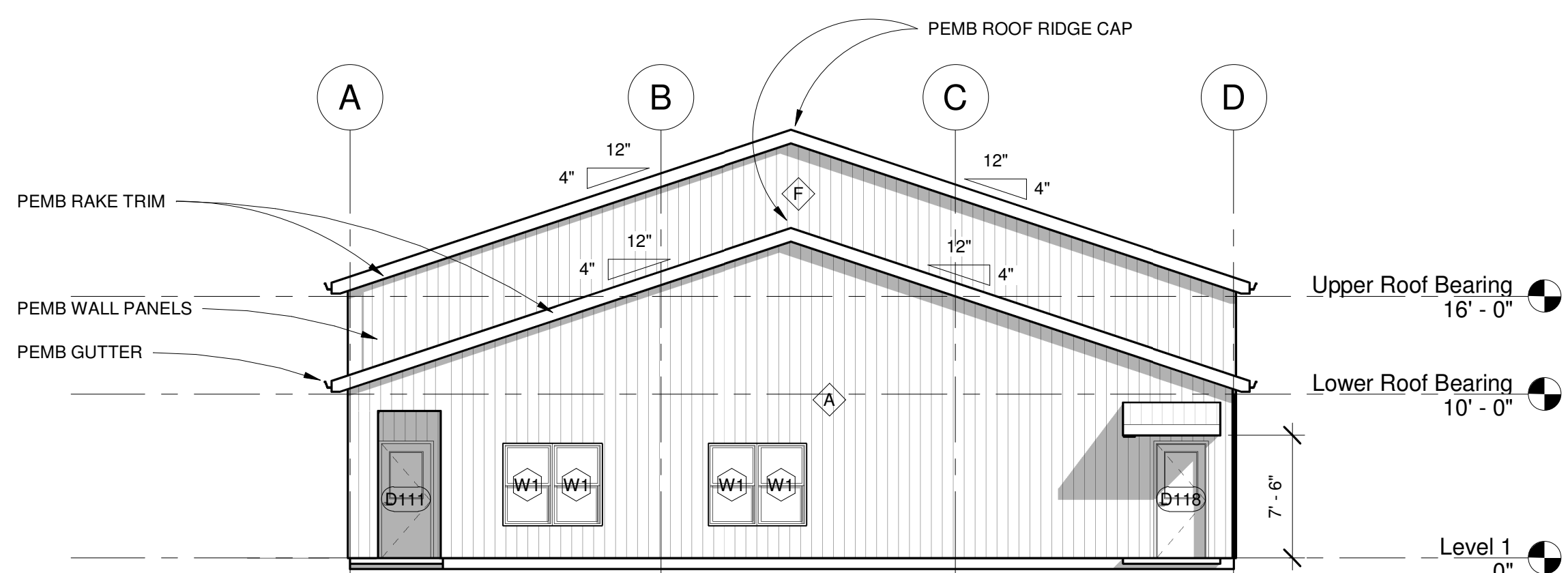
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1 Plan South Elevation
1/8" = 1'-0"

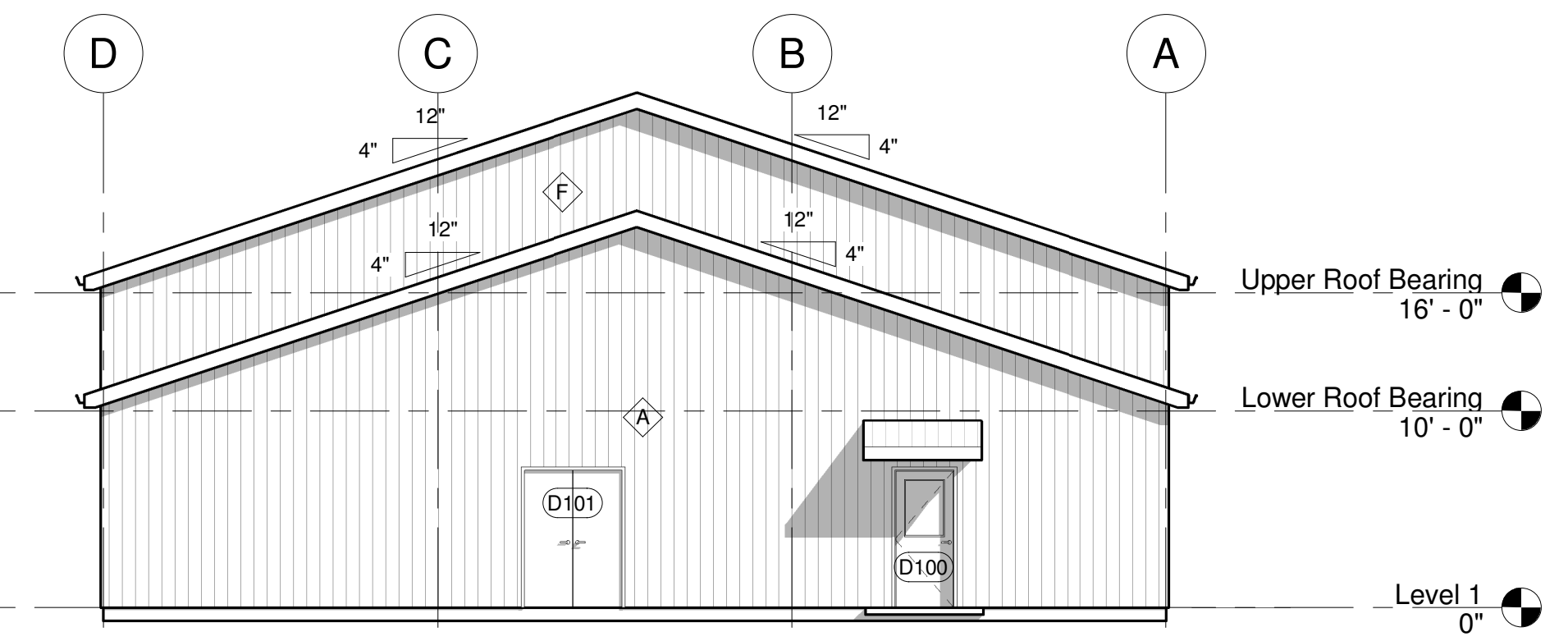


2 Plan North Elevation
1/8" = 1'-0"

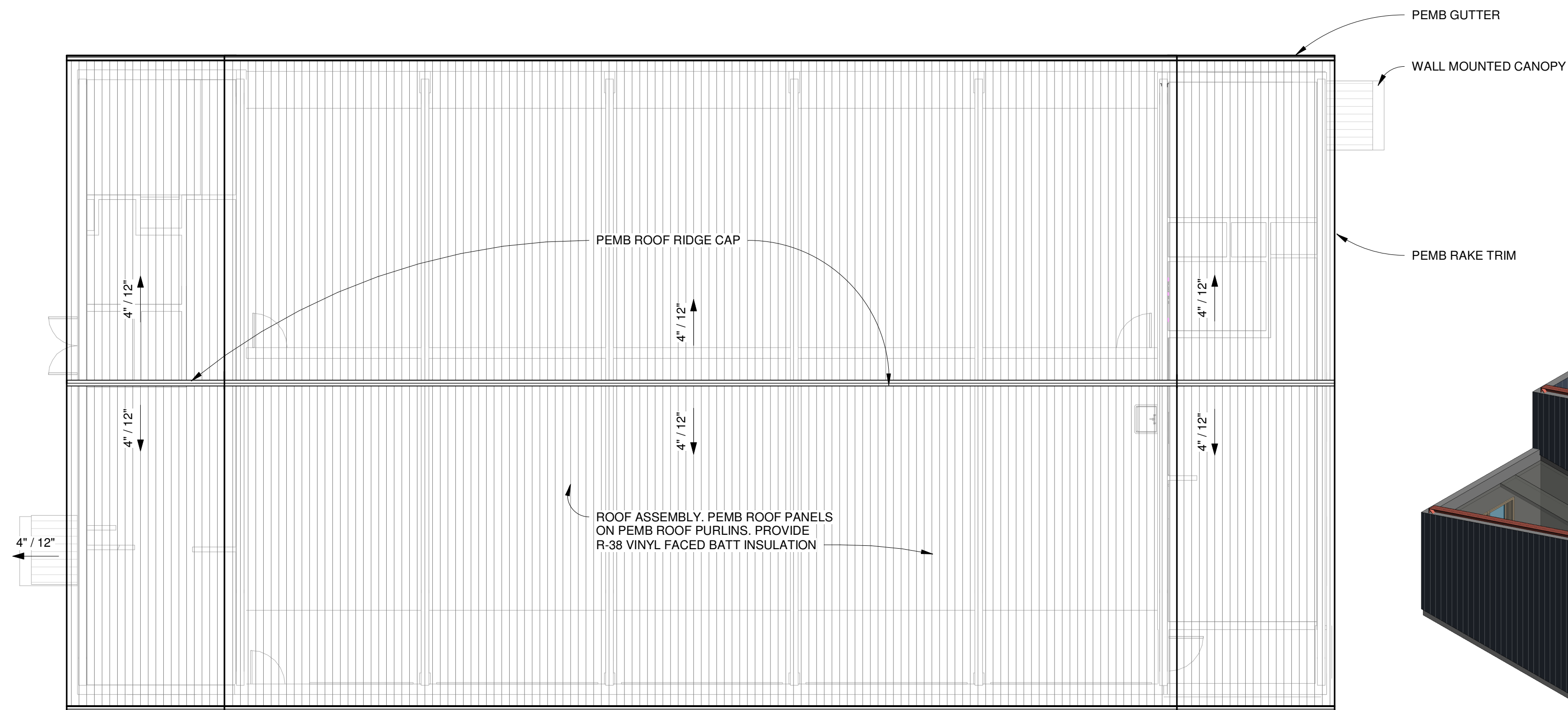


4 Plan West Elevation
1/8" = 1'-0"

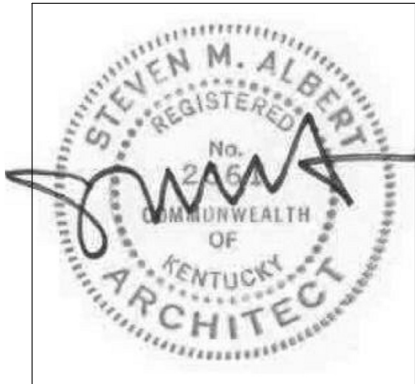
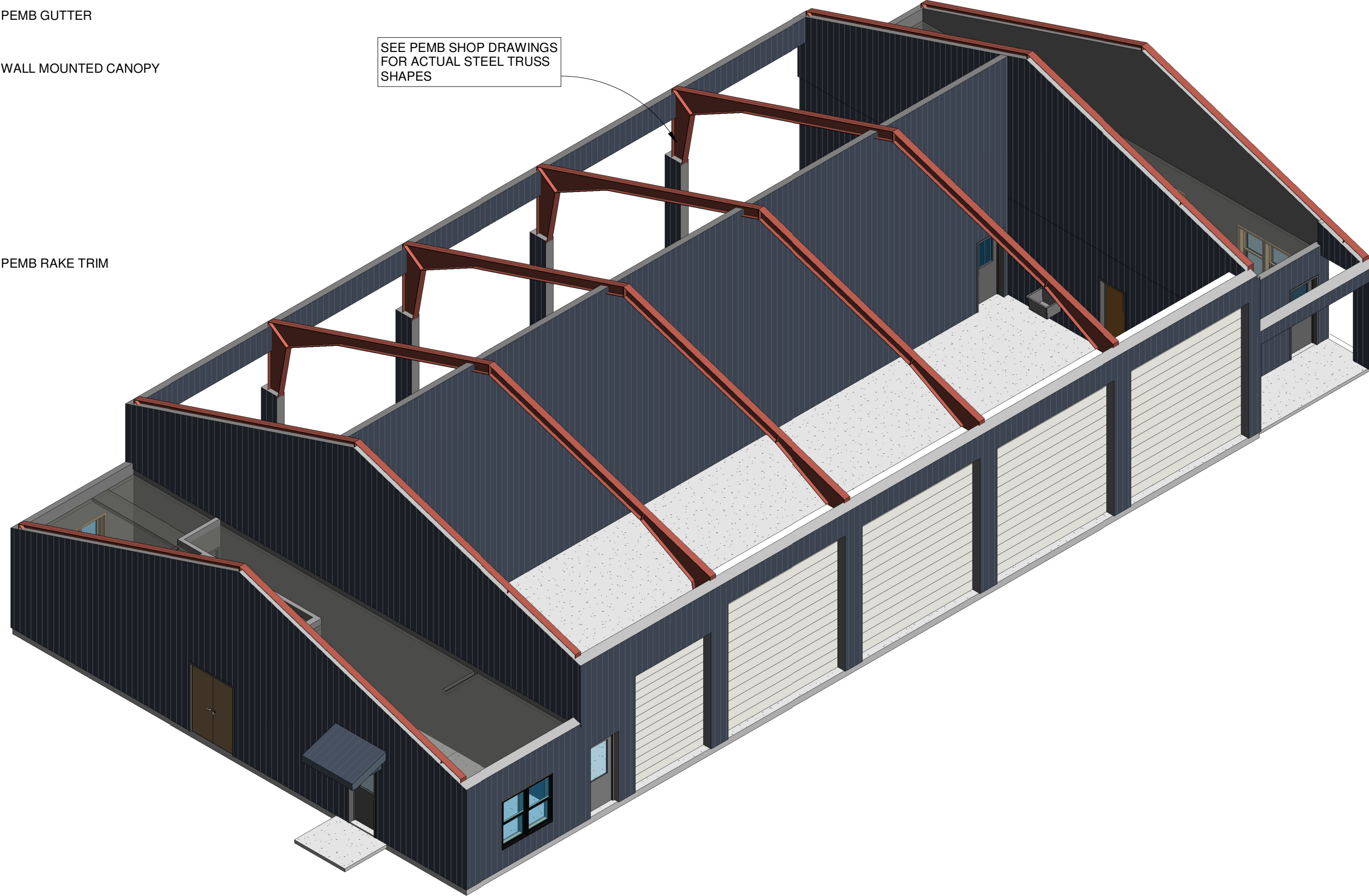
- GENERAL ELEVATION NOTES:
1. BUILDING ELEVATIONS SHOWN ON THIS DRAWING ARE INTENDED FOR GENERAL REFERENCE PURPOSES ONLY. REFER TO REFERENCED DETAILS FOR DESCRIBED CONDITIONS & REQUIREMENTS.
 2. MATERIAL INDICATIONS & DESCRIPTIONS, VERTICAL & OTHER DIMENSIONS SHOWN ON ONE BUILDING ELEVATION APPLY TO OTHER BUILDING ELEVATIONS WHERE SHOWN, UNLESS OTHERWISE NOTED.
 3. REFER TO FLOOR PLAN FOR LOCATION & DOOR SCHEDULE FOR COMPLETE DESCRIPTION OF DOOR AND FRAME TYPES.
 4. ALL EXPOSED EXTERIOR METAL SUCH AS FLASHINGS, GUTTERS & DOWNSPOUTS SHALL RECEIVE THE SPECIFIED SHOP APPLIED FINISH COATING.
 5. REFER TO MECHANICAL, PLUMBING & ELECTRICAL DRAWINGS FOR ALL MPE ITEMS.



3 Plan East Elevation
1/8" = 1'-0"



5 Roof Plan
1/8" = 1'-0"



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Elevations & Roof Plan
Multipurpose AG Building
Quicksand, Kentucky

Revision No.	Revision Description	Revision Date
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2301
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sma

A2.0



Revision No.	Revision Description	Revision Date
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2301
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sma

SPECIFICATIONS:

FLOOR SLAB RIGID WALL INSULATION: "OWENS-CORNING, FOAMULAR 150", EXTRUDED POLYSTYRENE, 2" @ UNDER-SLAB APPLICATION.

FIRE EXTINGUISHERS & LOCATIONS: PER UNIVERSITY OF KENTUCKY FIRE MARSHAL.

VINYL PLANK: "ARMSTRONG, RIGID CORE ELEMENTS," 30 YR., 12 MIL. INSTALL PER MANUFACTURERS RECOMMENDATIONS PER SUBSTRATE. PROVIDE SAMPLES FOR OWNER SELECTION.

WOOD BASE AND TRIM: "KUIKEN BROTHERS COMPANY INC." SEE DRAWINGS FOR PROFILES AND MODEL NUMBER.

WINDOWS: PEMB WINDOWS BY CONTRACTOR. SEE WINDOW SCHEDULE. SUBMIT SHOP DRAWINGS.

HOLLOW METAL DOOR: "STEELCRAFT," 14 GAGE, B-14, HIGH SECURITY, FLUSH WITH 14 GAGE FRAME, AS RECOMMENDED BY DOOR MANUFACTURER.

HOLLOW METAL DOOR FRAMES: HOLLOW METAL "STEELCRAFT" 14 GAGE WEATHER-STRIPPED FRAME. SIZED FOR WALL THICKNESS.

INTERIOR DOORS: FLUSH SOLID CORE WOOD, BIRCH VENEER, STAIN GRADE.

OVERHEAD DOORS: "OVERHEAD 610S" HEAVY DUTY SPRINGLESS SERVICE DOOR

DOOR HARDWARE: SEE DOOR SCHEDULE

PAINT: "SHERWIN WILLIAMS,"
FIBER CEMENT BOARD:
SPOT PRIME FIBER CEMENT BOARD AS NECESSARY.

1ST Coat: S-W A-100 Exterior Latex Satin, A82 Series
2ND Coat: S-W A-100 Exterior Latex Satin, A82 Series
(4 mils wet, 1.5 mils dry per coat)

CONCRETE FLOOR SEALER: CONCRETE FLOOR SEALER: EPOXY FLOOR SEALER, HEAVY-DUTY, CLEAR. SEE OWNER FOR MATTE OR GLOSSY FINISH.

CABINETS/COUNTERTOPS (KITCHEN & BATH): "EVANS CABINET CORPORATION", KATRINA MODEL WITH ULTIMA FULL EDGE PLASTIC LAMINATE COUNTERTOP. SEE OWNER FOR COLORS AND WOOD TYPE. SUBMIT SHOP DRAWINGS & SAMPLES.

PLASTIC LAMINATE: "WILSON-ART". OWNER WILL SELECT FROM STANDARD COLORS.

VANITY TOP: WHITE CULTURED MARBLE WITH SOLID WHITE BOWL. SIZE PER VANITY SIZE. SEE PLANS. COORDINATE WITH PLUMBING FIXTURES. INSTALL IN APARTMENT RESTROOM.

MICROWAVE: TO BE SUPPLIED AND INSTALLED BY CONTRACTOR. "WHIRLPOOL," 1.7 CU FT OVER THE RANGE MICROWAVE, STAINLESS STEEL

INSULATED ATTIC ACCESS: "E-Z" HATCH, 22" x 30", R-50 ATTIC ACCESS DOOR W/ WITH LOCK. INSTALL IN ALL UNITS AT SECOND FLOOR. SEE DRAWINGS FOR LOCATIONS. NON RATED.

BATHROOM ACCESSORIES: CONTRACTOR SHALL FURNISH AND INSTALL THE ACCESSORIES BELOW. SEE PLAN.

TOILET PAPER HOLDER: "BOBRICK, B265," STAINLESS STEEL DOUBLE ROLL W/ THEFT RESISTANT TISSUE SPINDLES, SATIN FINISH.

SANITARY NAPKIN DISPOSAL: "BOBRICK, B-3513," RECESSED STAINLESS STEEL SANITARY NAPKIN DISPOSAL. SATIN FINISH.

GRAB BARS: 1 1/2" DIAMETER, STAINLESS STEEL, PEENED, CONCEALED FASTENER. SEE PLAN FOR SIZES.

18" x 36" MIRROR: "BOBRICK, B-290," GLASS MIRROR W/ STAINLESS STEEL FRAME.

TOWEL BAR: "BOBRICK", EXTRA HEAVY-DUTY B-530x24. MOUNT @ 48" AFF.

SHOWER ROD: INTEGRAL W/ SPECIFIED SHOWER

DOOR HOOK: DOUBLE PRONG ROBE HOOK ("LIBERTY HARDWARE") INSTALL ON INTERIOR SIDE OF ALL BATHROOM, BEDROOM & CLOSET DOORS.

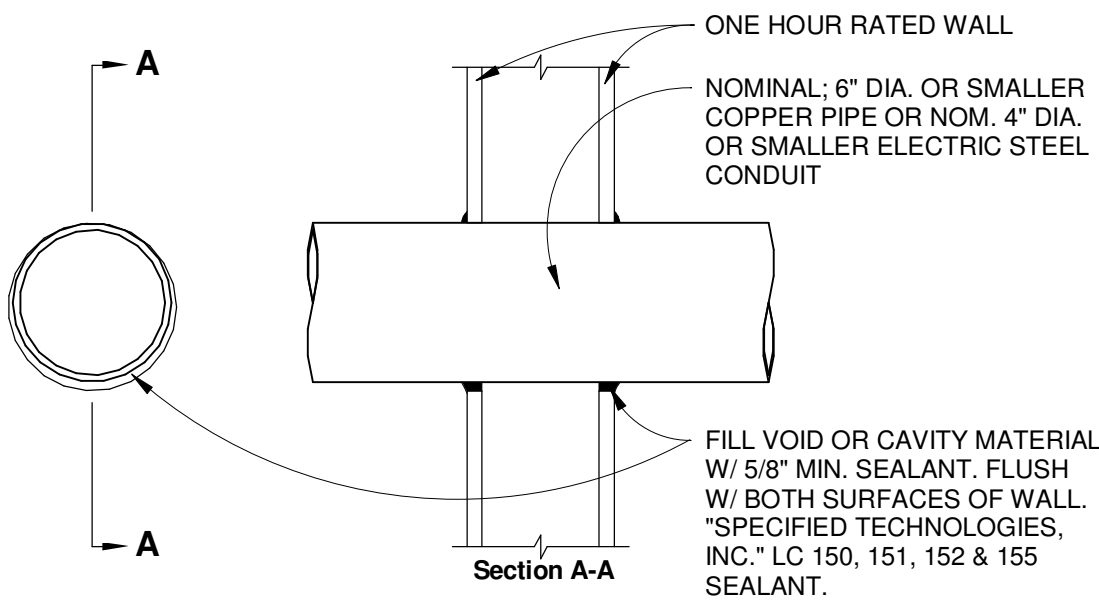
FOAM SOAP DISPENSER: "BOBRICK, B-26637," SURFACE-MOUNTED FOAM SOAP DISPENSER, 1000 ML.

PAPER TOWEL DISPENSER/WASTE RECEPTACLE: "BOBRICK, B-43944," RECESSED PAPER TOWEL DISPENSER AND WASTE RECEPTACLE.

BABY CHANGING STATION: "KOALA KARE, KB310-SSWM," HORIZONTAL STAINLESS STEEL SURFACE-MOUNTED. INSTALL IN OFFICE RESTROOM ONLY

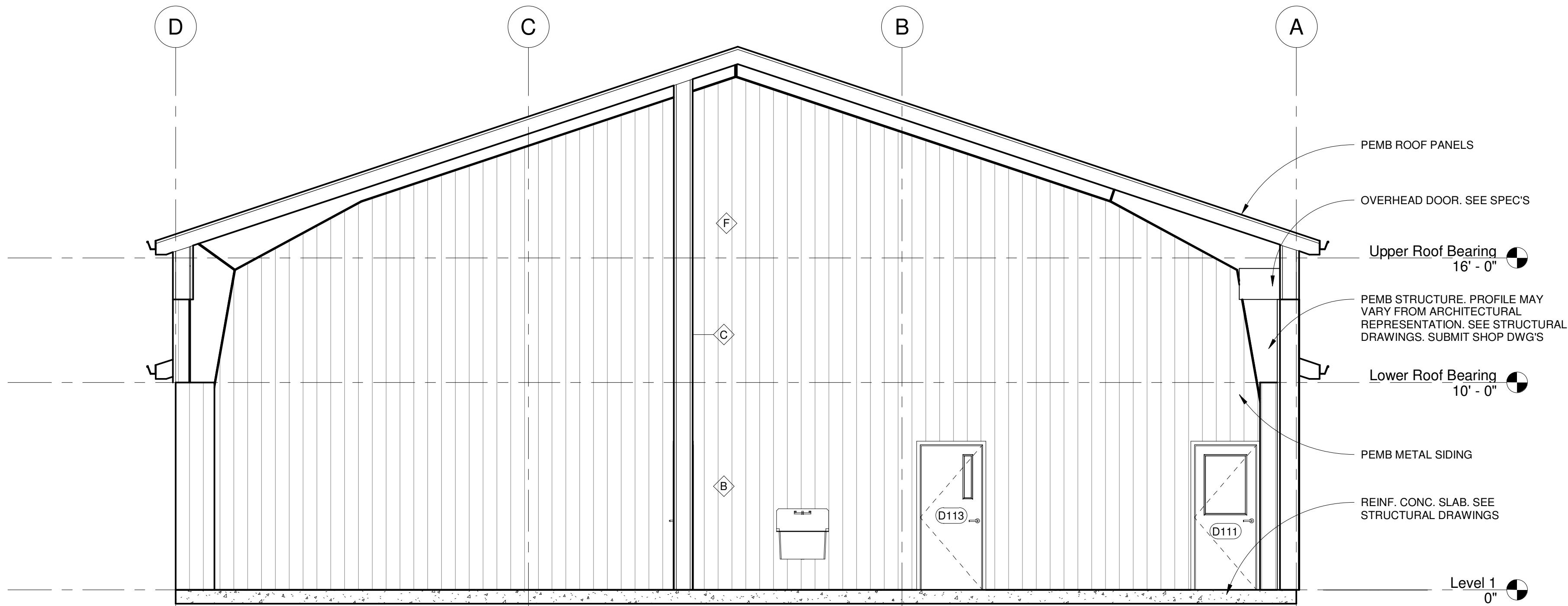
ADA COMPLIANT SIGNS ARE REQUIRED FOR EVERY PERMANENT ROOM OR SPACE IN THE BUILDING. INSTALL SIGNS PER THE AMERICAN WITH DISABILITIES ACT, CHAPTER TWO. PROVIDE SAMPLES BEFORE INSTALLATION.

CONTRACTORS MAY USE PRODUCTS EQUAL TO ABOVE. SUBMIT SHOP DRAWINGS/PRODUCT DATA SHEETS FOR APPROVAL BEFORE INSTALLATION. INSTALL WOOD BLOCKING FOR ALL ACCESSORIES. INSTALL ALL PRODUCTS PER MANUFACTURER'S INSTALLATION INSTRUCTIONS.



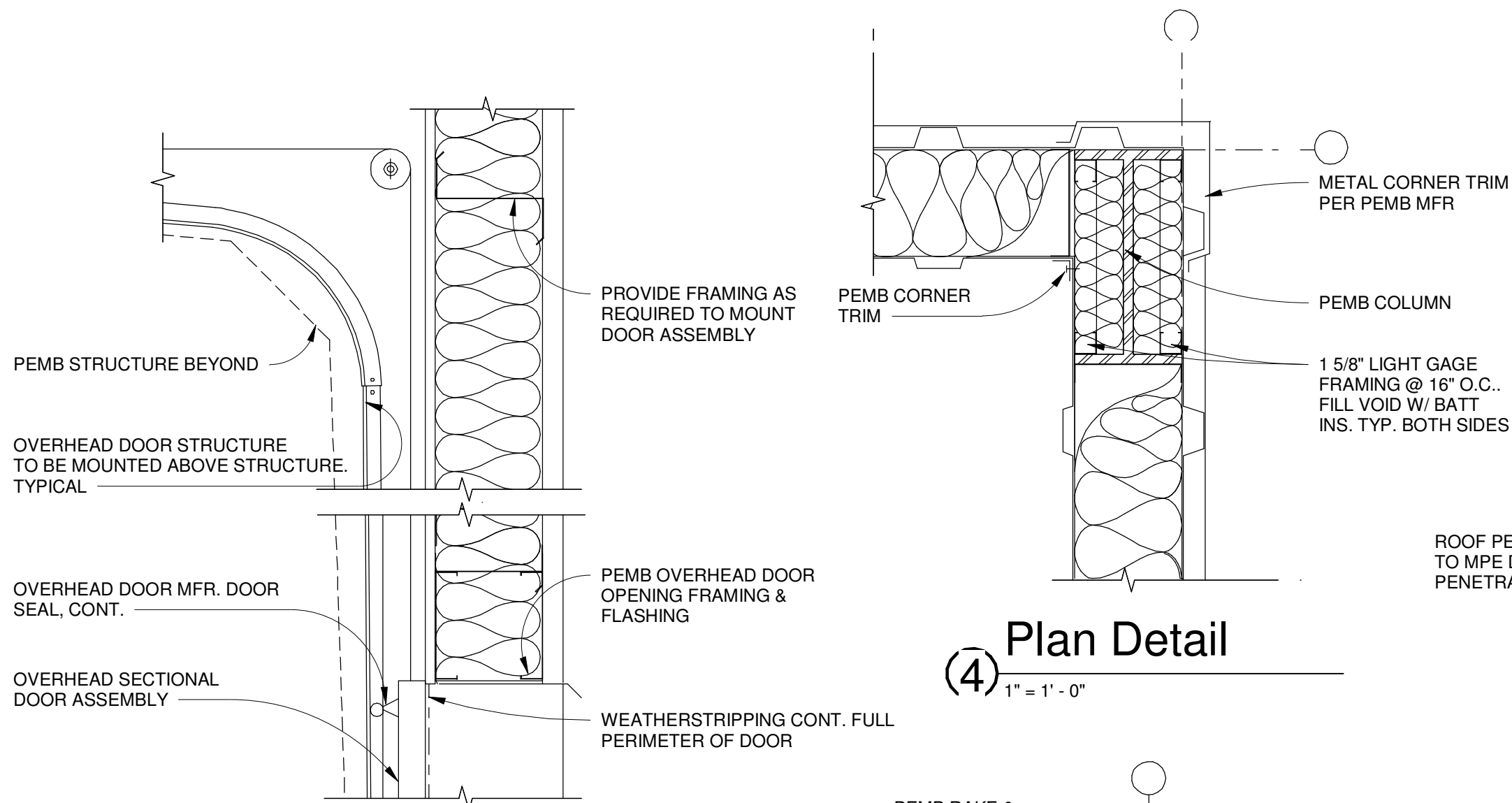
3 Firestopping

1 1/2" = 1'-0"



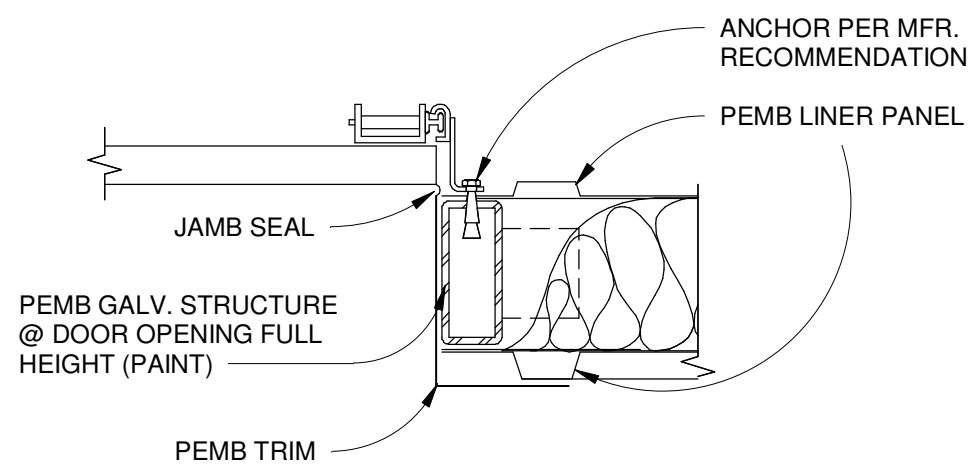
2 Building Section

1/4" = 1'-0"



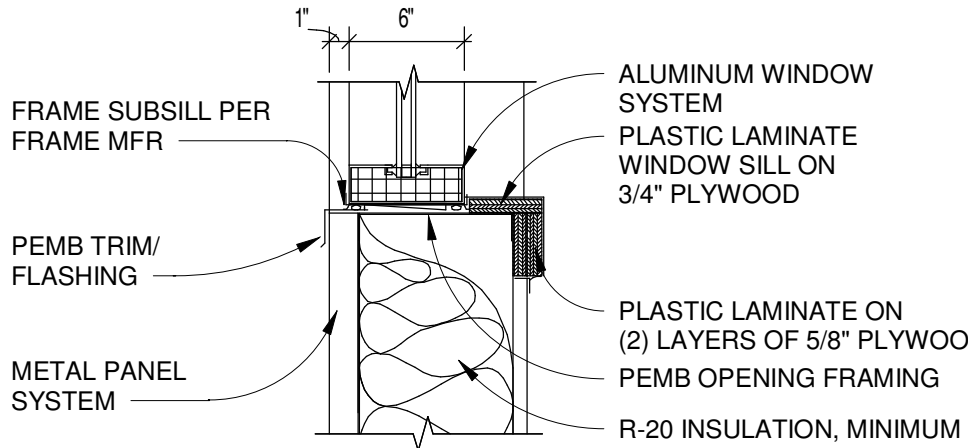
1 Overhead Door Head Detail

1" = 1'-0"



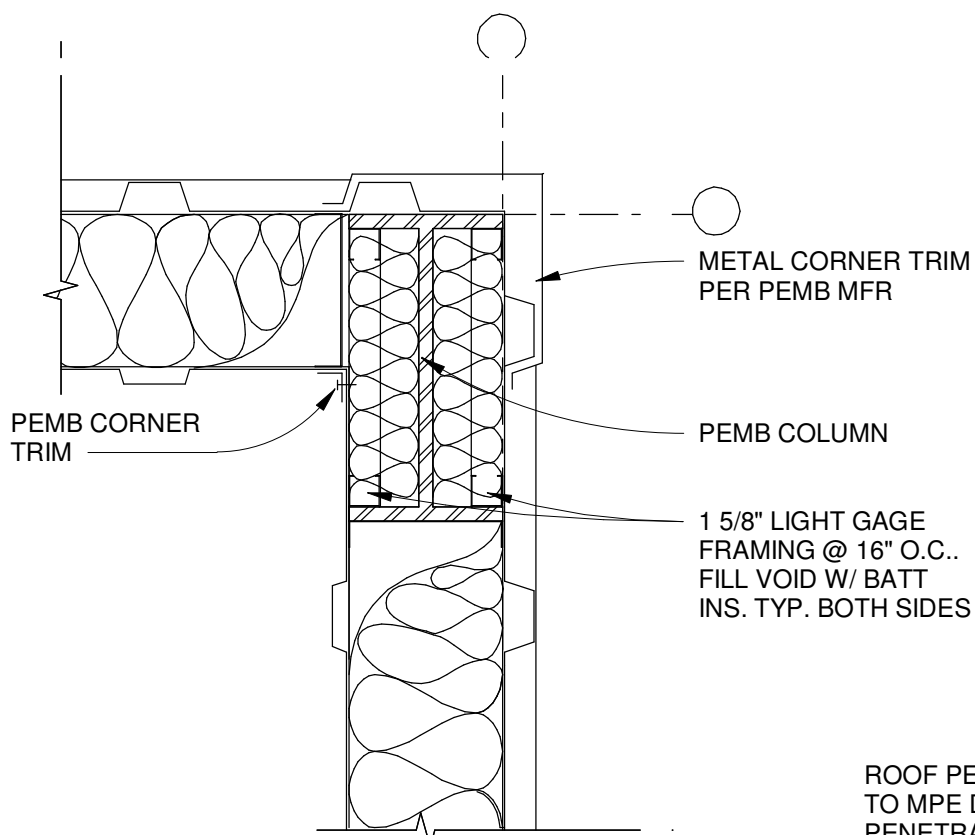
2 Overhead Door Jamb Detail

1" = 1'-0"



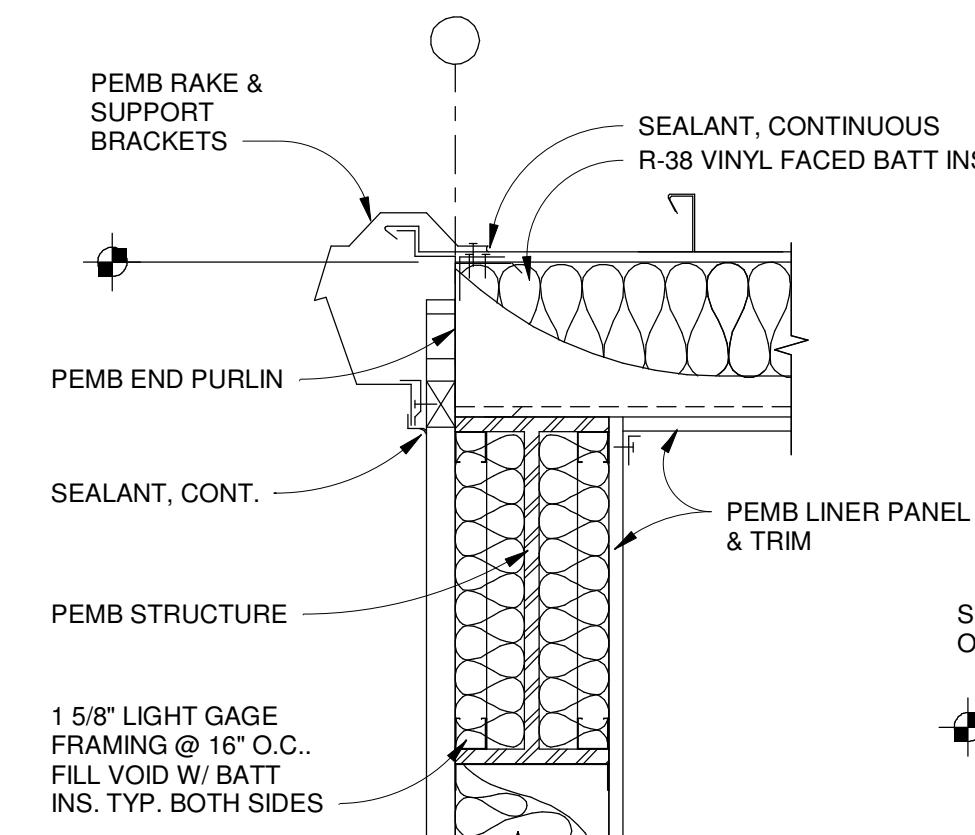
3 Exterior Alum. Sill Detail

1" = 1'-0"



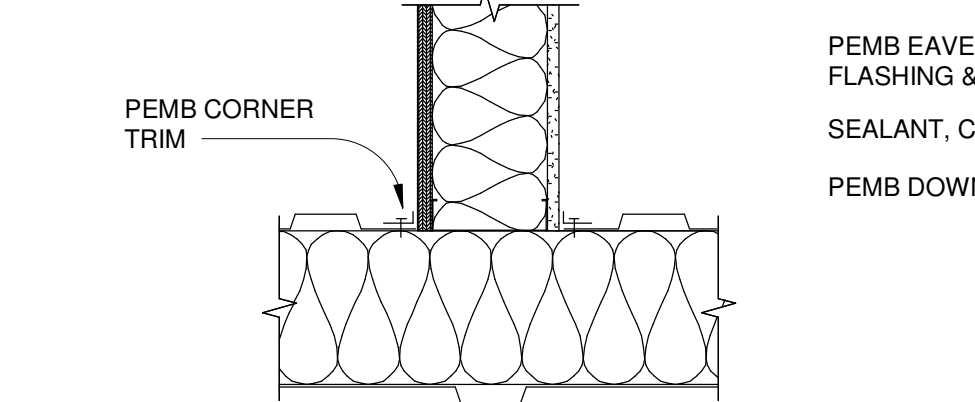
4 Plan Detail

1" = 1'-0"



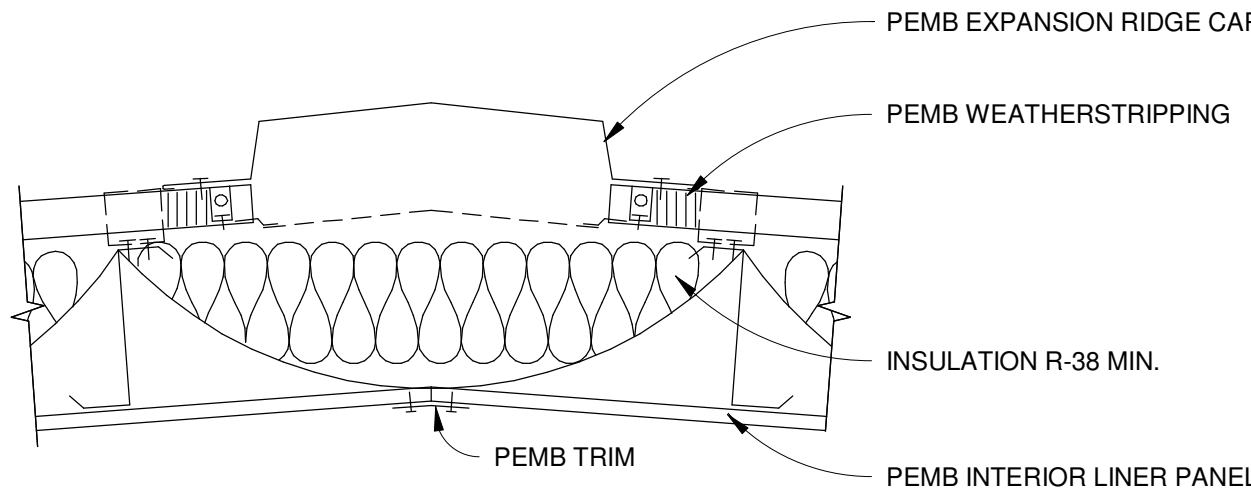
5 Rake Detail

1" = 1'-0"



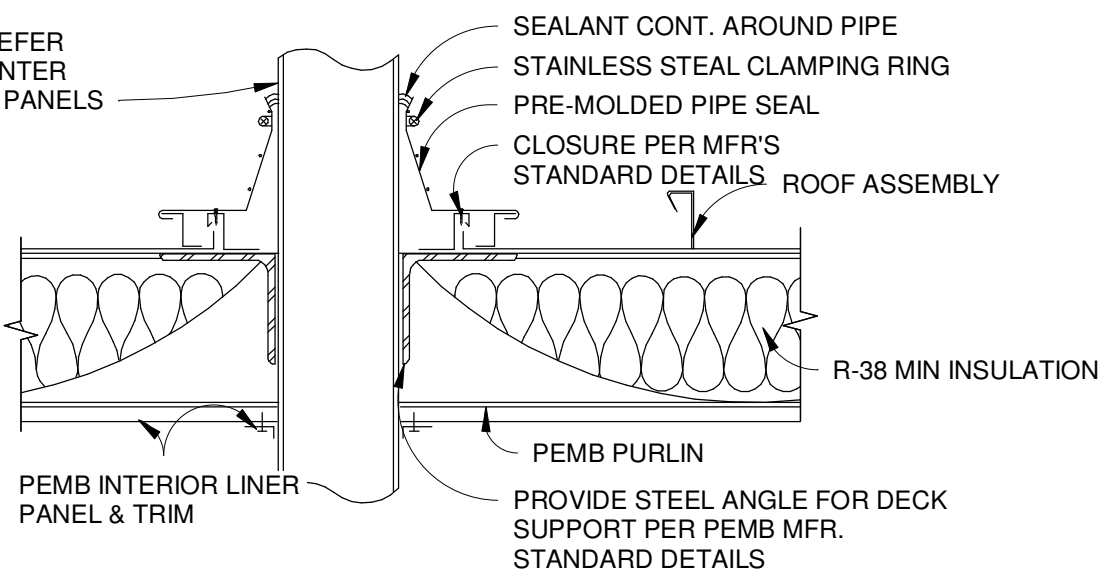
6 Plan Detail

1" = 1'-0"



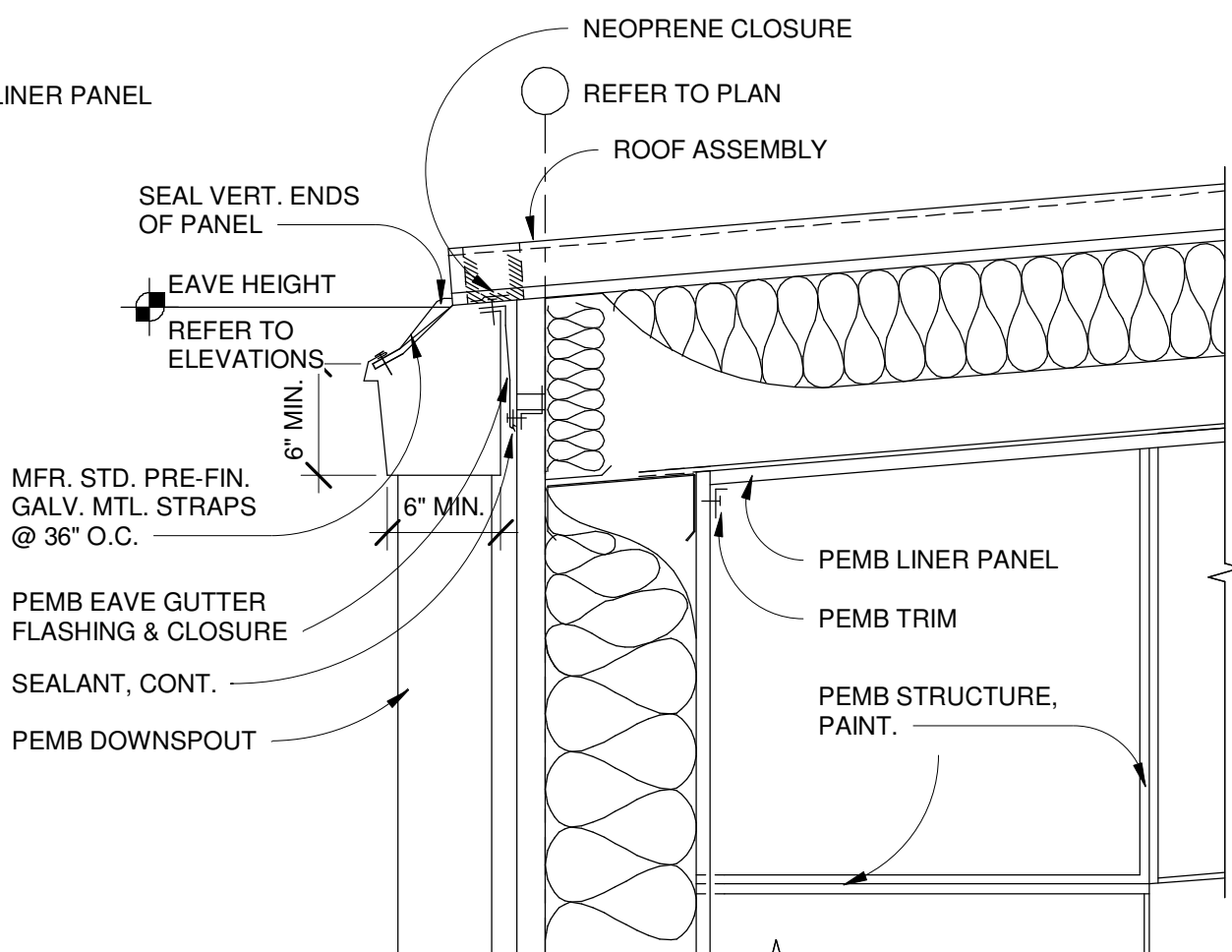
7 Roof Ridge Detail

1" = 1'-0"



8 Vent Thru Roof Detail

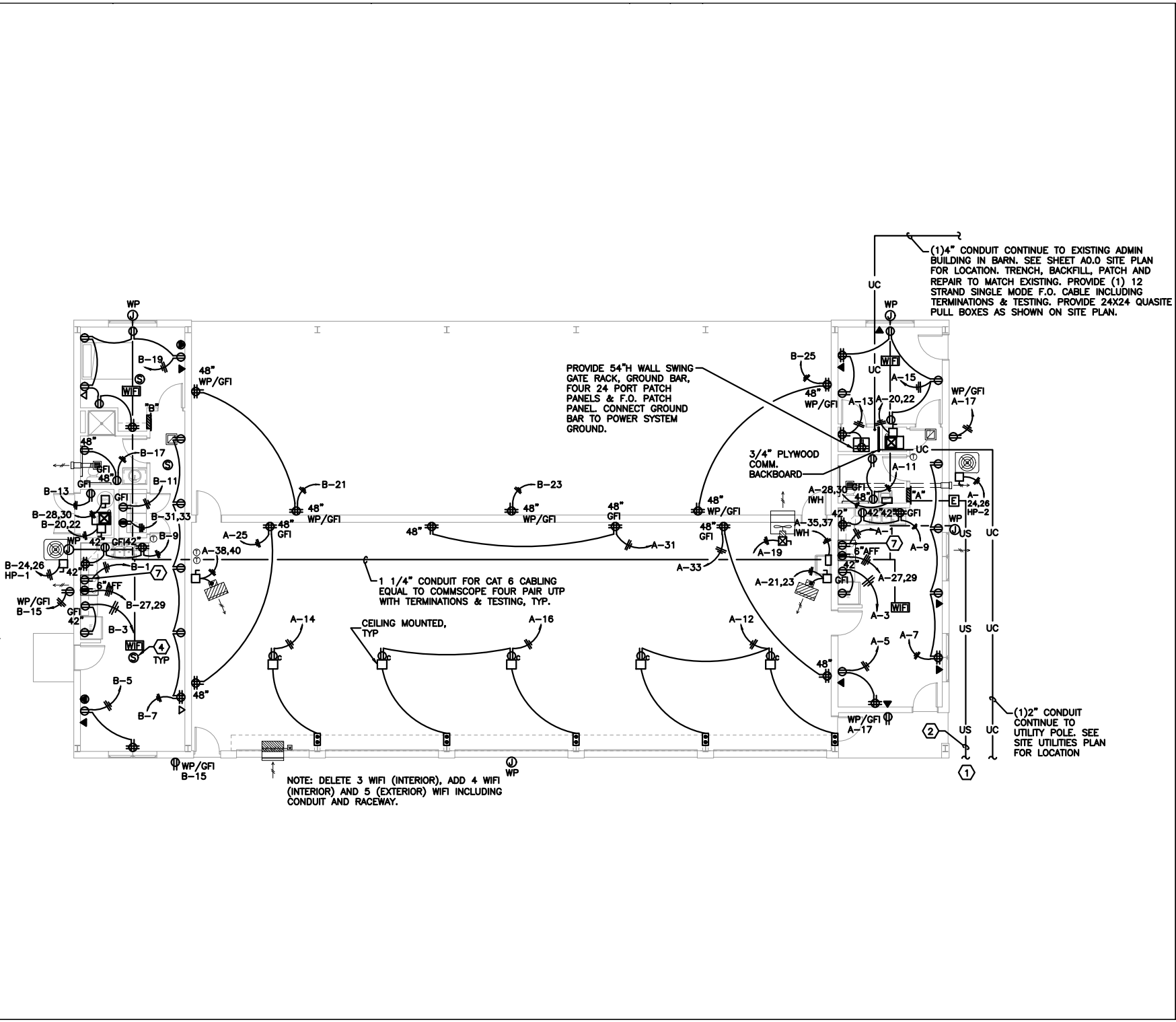
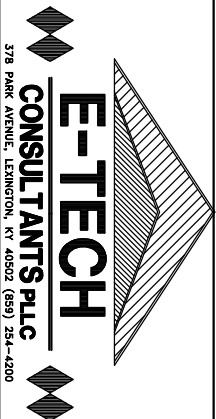
1" = 1'-0"



9 Gutter Detail

1" = 1'-0"

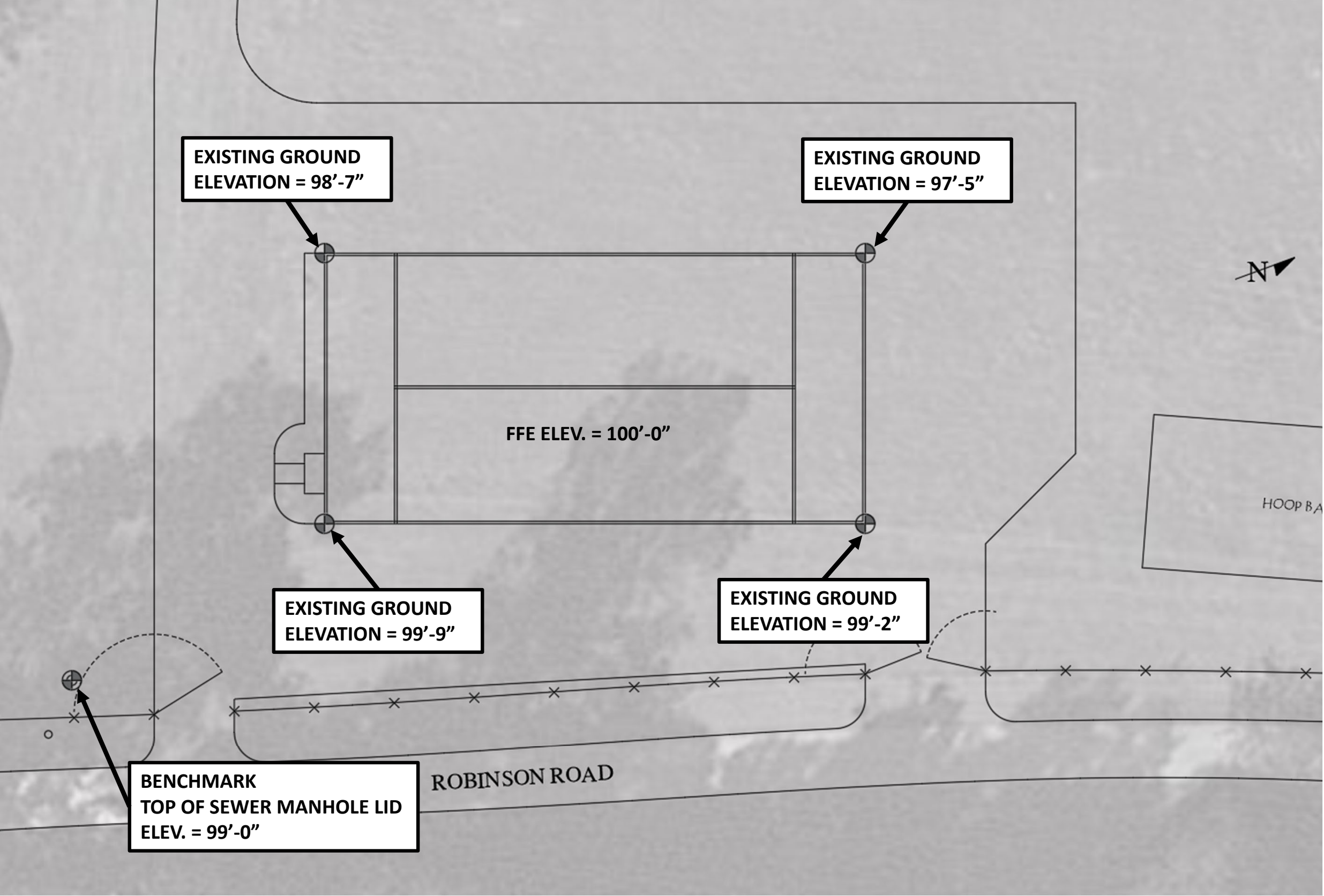
PROJECT: UK MULTIPURPOSE AG BUILDING
TITLE: POWER PLAN
DATE: 9/11/2023
SCALE: 1/16" = 1'-0"
CHECKED BY: W. GRANT WILSON, PE



DRAWING NO.

E1.1

RCARS MULTIPURPOSE AG BUILDING

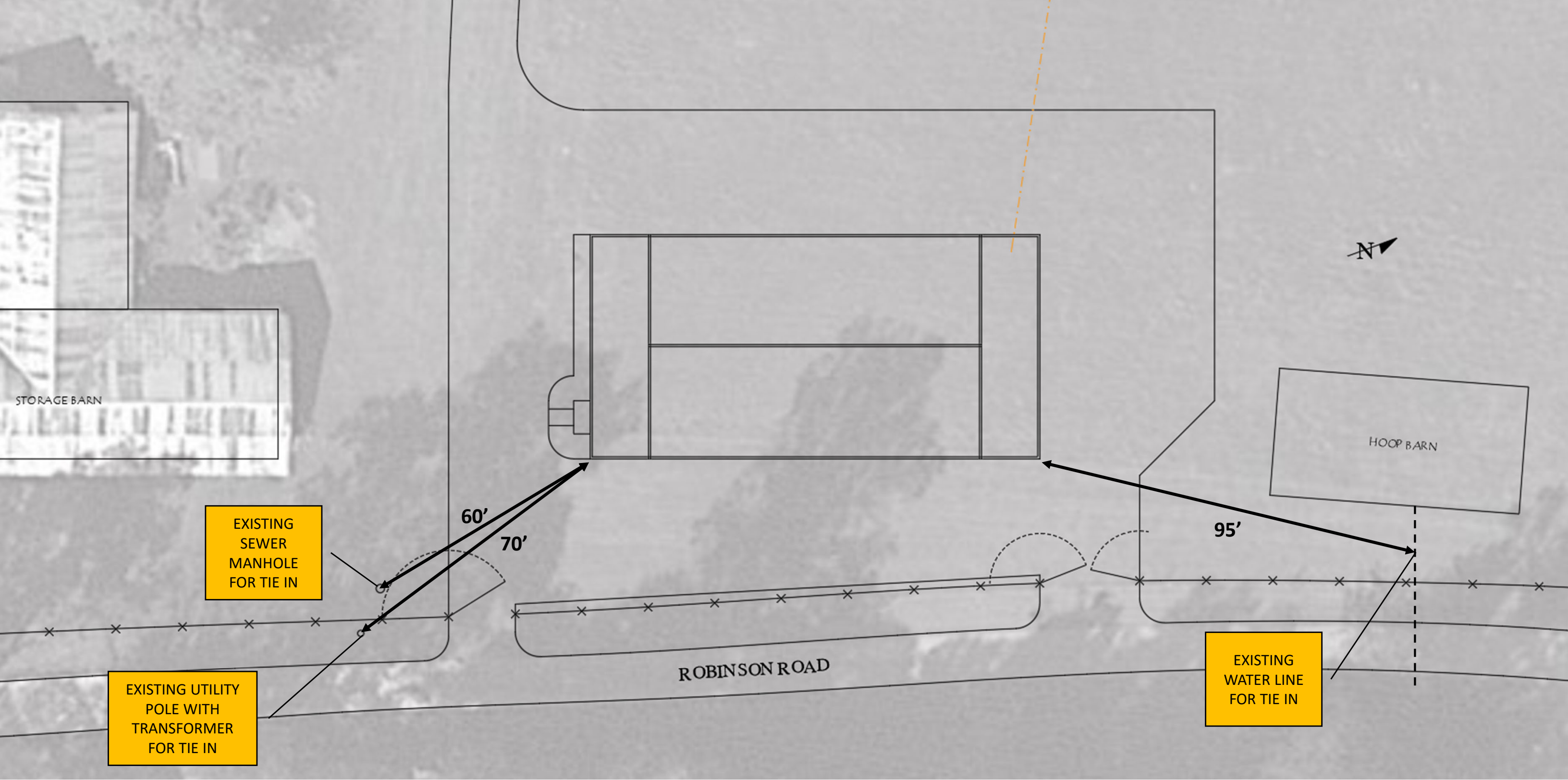


NOTES

1. ALL EARTHWORK FOR THIS PROJECT SHALL BE UNCLASSIFIED EXCAVATION TO PLAN BOTTOM DEPTH. PLAN BOTTOM DEPTH IS DEFINED AS THE LOWEST ELEVATION OF EXCAVATION. THIS INCLUDES BOTTOM OF EXCAVATION FOR FOUNDATIONS, UTILITIES, ROADS, PARKING, SIDEWALKS, REQUIRED UNSUITABLE SOILS UNDERCUTTING AND/OR ROCK REMOVAL AS INDICATED OR NOTED ON DRAWINGS.
2. AREAS THAT WILL SUPPORT FOUNDATIONS, FLOORS, PAVEMENTS, SHALL BE PROPERLY PREPARED.
3. PRIOR TO CONSTRUCTION OR THE PLACEMENT OF NEW ENGINEERED FILL, THE EXPOSED SUBGRADE SHALL BE EVALUATED. THE EVALUATION SHALL INCLUDE PROOFROLLING OF THE EXPOSED SUBGRADE.
4. EVALUATION OF SUBGRADE AND NEW ENGINEERED FILL SHALL BE COORDINATED WITH OWNER'S SPECIAL INSPECTOR.
5. BORROW AND FILL MATERIAL MUST BE APPROVED BY OWNER'S SPECIAL INSPECTOR BEFORE USE ON PROJECT.
6. THE PRINCIPLES OF POSITIVE DRAINAGE SHALL BE APPLIED UNIVERSALLY ACROSS THE SITE. WATER SHALL BE MOVED AWAY FROM THE BUILDINGS. WATER SHOULD NOT BE ALLOWED TO POND AT LOW POINTS OR IN LOW AREAS.

C0.0 SURVEY & ELEVATIONS (updated 9/20/23)

RCARS MULTIPURPOSE AG BUILDING



A0.0 Site Plan – OTHER UTILITIES (updated 9/20/23)