



# UNIVERSITY OF KENTUCKY

## Purchasing Division

### INVITATION FOR BIDS

CCK-2696-23

ADDENDUM# 2

03/08/2023

**ATTENTION: This is not an order. Read all instructions, terms and conditions carefully.**

**IMPORTANT: BID AND ADDENDUM MUST BE RECEIVED BY: 03/21/2023 @ 3:00 P.M. LEXINGTON, KY TIME**

Bidder must acknowledge receipt of this and any addendum as stated in the Invitation for Bids.

1. Please refer to and incorporate into your bid, the attached written questions and answers and additional drawings from UK Facilities.
2. If you have any questions, please contact Ken Scott at the number below or at [cckbidquestions@uky.edu](mailto:cckbidquestions@uky.edu).

**OFFICIAL APPROVAL**  
**UNIVERSITY OF KENTUCKY**

**SIGNATURE**

*Ken Scott*

03/08/2023

Ken Scott / (859) 257-9102

\_\_\_\_\_  
\_\_\_\_\_  
Typed or Printed Name

Response

A-110 open area and corridor to get carpet. Storage rooms 112 & 114 and 123 will not require wall base. See Addendum #2 for updated Room Finish Schedule.

ROOM FINISH SCHEDULE									
ROOM NUMBER	ROOM NAME	BASE		FLOOR	WALLS		CEILING	HGT. CLG.	REMARKS
	<input checked="" type="checkbox"/> REFERS TO NOTE								
	6" VINYL COVER/TILE EXISTING NONE	POLISHED CONCRETE MATCH EXISTING 18"x36" CARPET TILE EXISTING	PAINT WALL TILE EXISTING	2"x2" A.C.T. AND GRID PAINT EXISTING PAINT GYPSUM EXISTING	MATCH EXISTING PAINT OTHERWISE				
110A	OFFICE	■			■			9'-0" AFF.	1
110B	OFFICE	■			■			9'-0" AFF.	1
110C	OFFICE	■			■		■	9'-0" AFF.	1
110D	SERVER ROOM	■			■		■	-	1
110E	OFFICE	■		■	■	■	■	9'-0" AFF.	1
110F	OFFICE	■			■			9'-0" AFF.	1
110G	OFFICE	■			■		■	9'-0" AFF.	1
110H	OPEN AREA	■					■		1.2
	CORRIDOR	■						9'-0" AFF.	1.2
112	STORAGE	■			■		■	-	1
114	STORAGE	■			■		■	-	1
123	STORAGE	■			■		■	9'-0" AFF.	1

# EJ NUTTER TRAINING CENTER

## ROOMS 110, 121, AND 123 RENOVATION PROJECT

UNIVERSITY OF KENTUCKY  
LEXINGTON, KENTUCKY

DESIGN AND CONSTRUCTION ADMINISTRATION PROVIDED BY:  
**FACILITIES ENGINEERING AND ASSET MANAGEMENT**  
211 PETERSON SERVICE BUILDING  
LEXINGTON, KY 40506



### DRAWING INDEX

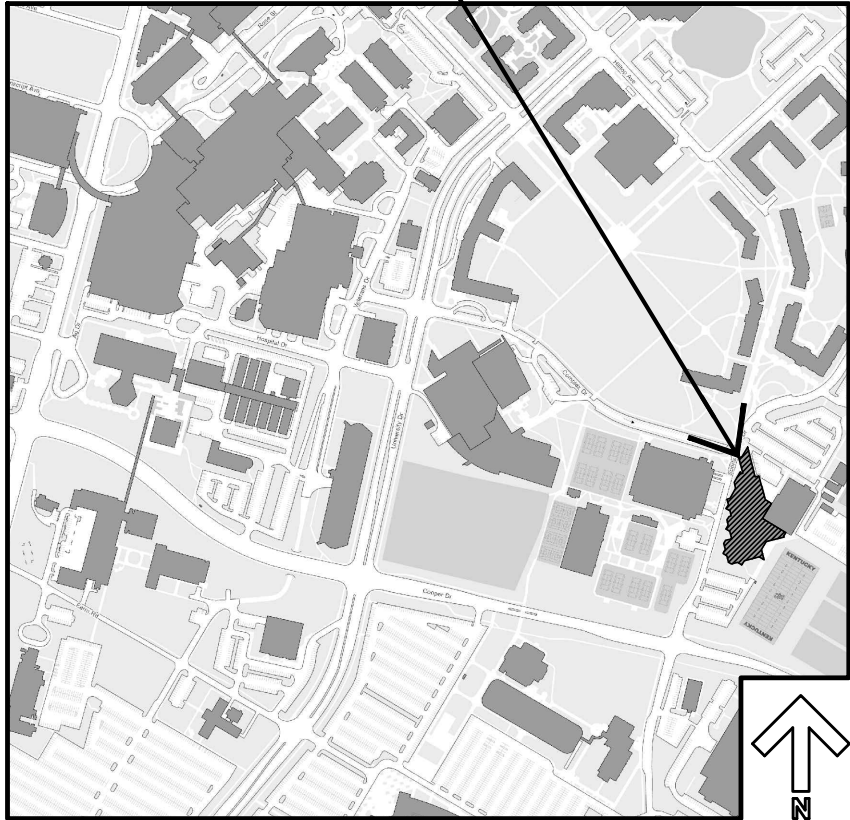
T-100	TITLE SHEET AND DRAWING INDEX SHEET
A-001	ARCHITECTURAL GENERAL NOTES, ABBREVIATIONS, AND LEGEND
A-002	ARCHITECTURAL FINISH AND DOOR SCHEDULES AND DETAILS
AD-110	ARCHITECTURAL DEMOLITION PLAN - ROOMS 122, 123 AND 123A
A-110	ARCHITECTURAL PLAN - ROOM 110
A-111	ARCHITECTURAL PLANS - ROOMS 112, 114, AND 123
A-112	ARCHITECTURAL REFLECTED CEILING PLAN - ROOM 110
A-113	ARCHITECTURAL REFLECTED CEILING PLANS - ROOMS 112, 114, AND 123
A-400	ARCHITECTURAL DETAILS
M-001	MECHANICAL GENERAL NOTES AND LEGEND
MD-110	MECHANICAL DEMOLITION PLAN - ROOM 110
MD-111	MECHANICAL DEMOLITION PLAN - ROOMS 122, 123 AND 123A
M-110	MECHANICAL NEW WORK PLAN - ROOM 110
M-111	MECHANICAL NEW WORK PLAN - ROOM 123
M-112	MECHANICAL NEW WORK PLAN - PIPING - ROOM 110
M-400	MECHANICAL DETAILS
M-500	MECHANICAL SCHEDULES
IC-001	HVAC CONTROLS
IC-002	HVAC CONTROLS
F-110	FIRE PROTECTION DEMOLITION AND NEW WORK PLAN - ROOM 110
F-111	FIRE PROTECTION DEMOLITION AND NEW WORK PLANS - ROOMS 112, 114, AND 123
P-001	PLUMBING GENERAL NOTES AND LEGEND
PD-110	PLUMBING DEMOLITION PLAN - ROOMS 122, 123 AND 123A
P-110	PLUMBING NEW WORK PLAN - ROOMS 110D AND 112
E-001	ELECTRICAL GENERAL NOTES AND LEGEND
ED-110	ELECTRICAL DEMOLITION PLAN - ROOM 110
ED-111	ELECTRICAL DEMOLITION PLAN - ROOM 121
ED-112	ELECTRICAL DEMOLITION PLAN - ROOMS 122, 123 AND 123A
E-110	ELECTRICAL NEW WORK PLAN - LIGHTING - ROOM 110
E-111	ELECTRICAL NEW WORK PLANS - LIGHTING - ROOMS 112, 114, AND 123
E-112	ELECTRICAL NEW WORK PLAN - POWER - ROOM 110
E-113	ELECTRICAL NEW WORK PLAN - POWER - ROOM 123

### PROJECT DESCRIPTION

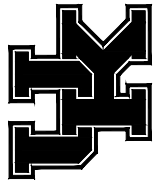
THIS PROJECT RENOVATES ROOMS 110, 121, AND THE 123 WHIRLPOOL AND SAUNA AREAS. ROOM 110 WILL BE DIVIDED INTO MULTIPLE OFFICES, A SERVER ROOM, AND A LARGE WORKROOM. STORAGE ROOM 121 WILL BE DIVIDED INTO TWO STORAGE AREAS. THE WHIRLPOOL, WHIRLPOOL MECHANICAL ROOM AND SAUNA WILL BE REMOVED AND CONVERTED INTO A STORAGE SPACE. UPDATED INCLUDE ELECTRICAL AND LIGHTING, NEW WALLS, REVISED HVAC, AND UPGRADED HVAC CONTROLS.

### VICINITY MAP

EJ NUTTER TRAINING CENTER



UNIVERSITY OF KENTUCKY  
Physical Plant Division  
Facilities Engineering



EJ NUTTER TRAINING FACILITY  
ROOMS 110, 121, AND 123 RENOVATION PROJECT  
BUILDING NUMBER: 0277  
TITLE SHEET, AND DRAWING INDEX

REVISIONS	
#	DATE
2	03/08/2023
DESIGNED BY:	STAFF
DRAWN BY:	STAFF
CHECKED BY:	ST-W
APPROVED BY:	BL
PROJECT NO.:	807004656613
DATE:	02/2023
DRAWING NUMBER:	

T-100



ROOM NUMBER	ROOM NAME	BASE				FLOOR		WALLS			CEILING			HGT. CLG.	REMARKS
		6" VINYL COVER/TILE EXISTING	NONE	POLISHED CONCRETE MATCH EXISTING	18"X36" CARPET TILE EXISTING	PAINT WALL TILE EXISTING	2X2' A.C.T. AND GRID PAINT EXISTING PAINT GYPSUM EXISTING	MATCH EXISTING UNLESS NOTED OTHERWISE							
110A	OFFICE	■			■	■		■			■			9'-0" A.F.F.	1
110B	OFFICE	■			■	■		■			■			9'-0" A.F.F.	1
110C	OFFICE	■			■	■		■			■			9'-0" A.F.F.	1
110D	SERVER ROOM	■			■	■	■	■			■	■	-	1	
110E	OFFICE	■			■	■		■			■		9'-0" A.F.F.	1	
110F	OFFICE	■			■	■		■			■		9'-0" A.F.F.	1	
110G	OFFICE	■			■	■		■			■		9'-0" A.F.F.	1	
110H	OPEN AREA	■			■	■		■			■	■	1,2		
-	CORRIDOR	■			■	■		■			■		9'-0" A.F.F.	1,2	
112	STORAGE	■			■	■	■	■			■	■	-	1	
114	STORAGE	■			■	■	■	■			■	■	-	1	
123	STORAGE	■			■	■		■			■		9'-0" A.F.F.	1	

FINISHES:	CEILING		FLOORING		WALL	
	TILE		CARPET		PAINT	
	USG		SHAW CONTRACT GROUP		PPG	
	COLOR - WHITE		COLOR - MATCH EXISTING		COLOR - MATCH EXISTING	
	<b>CEILING TILE</b> STYLE - USG: 5/8" X 24" X 24" RADAR, BEVELED TEGULAR COLOR - WHITE		<b>FLOORING:</b> 18" X 36" CARPET TILE SHAW CONTRACT GROUP STYLE - FOLDED TILE, 5T060 COLOR - ELECTRIC OBSIDIAN 60506 INSTALL METHOD - PER MANUFACTURER			
	<b>CEILING GRID</b> STYLE - USG: CENTRICITEE DXLT, 9/16" EXPOSED TEE COLOR - WHITE		<b>CONCRETE SEALER:</b> EAGLE BRAND ARMOR SEAL MODIFIED ACRYLIC CONCRETE SEALER, 2 COATS (OR APPROVED EQUAL)			
	<b>NOTE:</b> FIELD VERIFY PIPE AND DUCT LOCATIONS TO DETERMINE CONFLICTS WITH THE DESIGNED CEILING HEIGHTS.		<b>WALL BASE:</b> JOHNSITE STYLE - #48 COLOR - GREY			
			<b>TRIM PAINT:</b> PPG COLOR - MATCH EXISTING			

Technical drawing of a 5 7/8 inch frame, showing two views: HEAD and JAMB.

**HEAD View:**

- Overall width: 5 7/8"
- Overall height: 4"
- Top flange thickness: 1/2"
- Top flange width: 4 7/8"
- Head width: 2 3/8"
- Head height: 2"
- Head thickness: 5/8"

**JAMB View:**

- Overall width: 5 7/8"
- Overall height: 4"
- Top flange thickness: 1/2"
- Top flange width: 4 7/8"
- Jamb width: 2 3/8"
- Jamb height: 2"
- Jamb thickness: 5/8"

5 7/8" FRAME

DOOR NO.	DOOR				FRAME		DETAILS			FIRE RATING	HDW. #	REMARKS
	SIZE	TYPE	MATL.	GLAZING	TYPE	MATL.	HEAD	JAMB	SILL			
110A	3'-0" x 7'-0" x 1 3/4"	2	STEEL	YES	A	H.M.	1/A-002	2/A-002	3/A-002		1	1
110B	3'-0" x 7'-0" x 1 3/4"	2	STEEL	YES	A	H.M.	1/A-002	2/A-002	3/A-002		1	1
110C	3'-0" x 7'-0" x 1 3/4"	2	STEEL	YES	A	H.M.	1/A-002	2/A-002	3/A-002		1	1
110D	3'-0" x 7'-0" x 1 3/4"	1	STEEL	YES	A	H.M.	1/A-002	2/A-002	3/A-002		1	1
110E	3'-0" x 7'-0" x 1 3/4"	2	STEEL	YES	A	H.M.	1/A-002	2/A-002	3/A-002		1	1
110F	3'-0" x 7'-0" x 1 3/4"	2	STEEL	YES	A	H.M.	1/A-002	2/A-002	3/A-002		1	1
110G	3'-0" x 7'-0" x 1 3/4"	2	STEEL	YES	A	H.M.	1/A-002	2/A-002	3/A-002		1	1
112	3'-0" x 7'-0" x 1 3/4"	1	STEEL	YES	A	H.M.	1/A-002	2/A-002	3/A-002		1	1

HARDWARE SETS	
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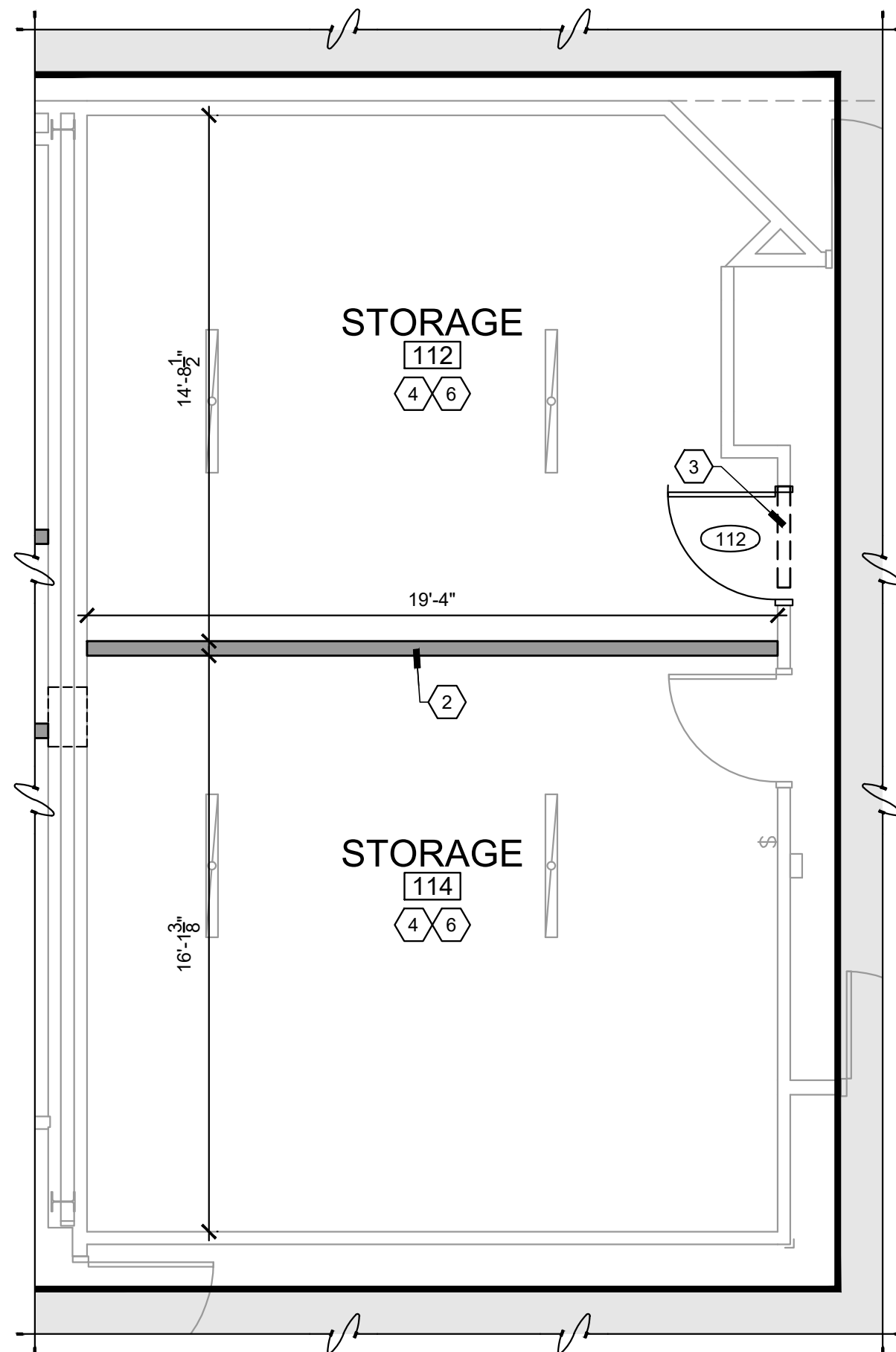
## DOOR AND FRAME TYPES

The technical drawings illustrate the dimensions for two door types and one frame type.   
**DOOR TYPES:**   
 Type 1 is a solid door with a height of 7'-0" and a width of 3'-0".   
 Type 2 is a door with a height of 7'-0" and a width of 3'-0", featuring a quarter window.   
**FRAME TYPES:**   
 Frame A is a metal door frame with a height of 7'-0" and a width of 3'-0". The frame includes a 2" thick door stop and a 3'-4" wide top section.

1 HEAD DETAIL  
SCALE: 1" = 1'-0"

2 JAMB DETAIL  
SCALE: 1" = 1'-0"

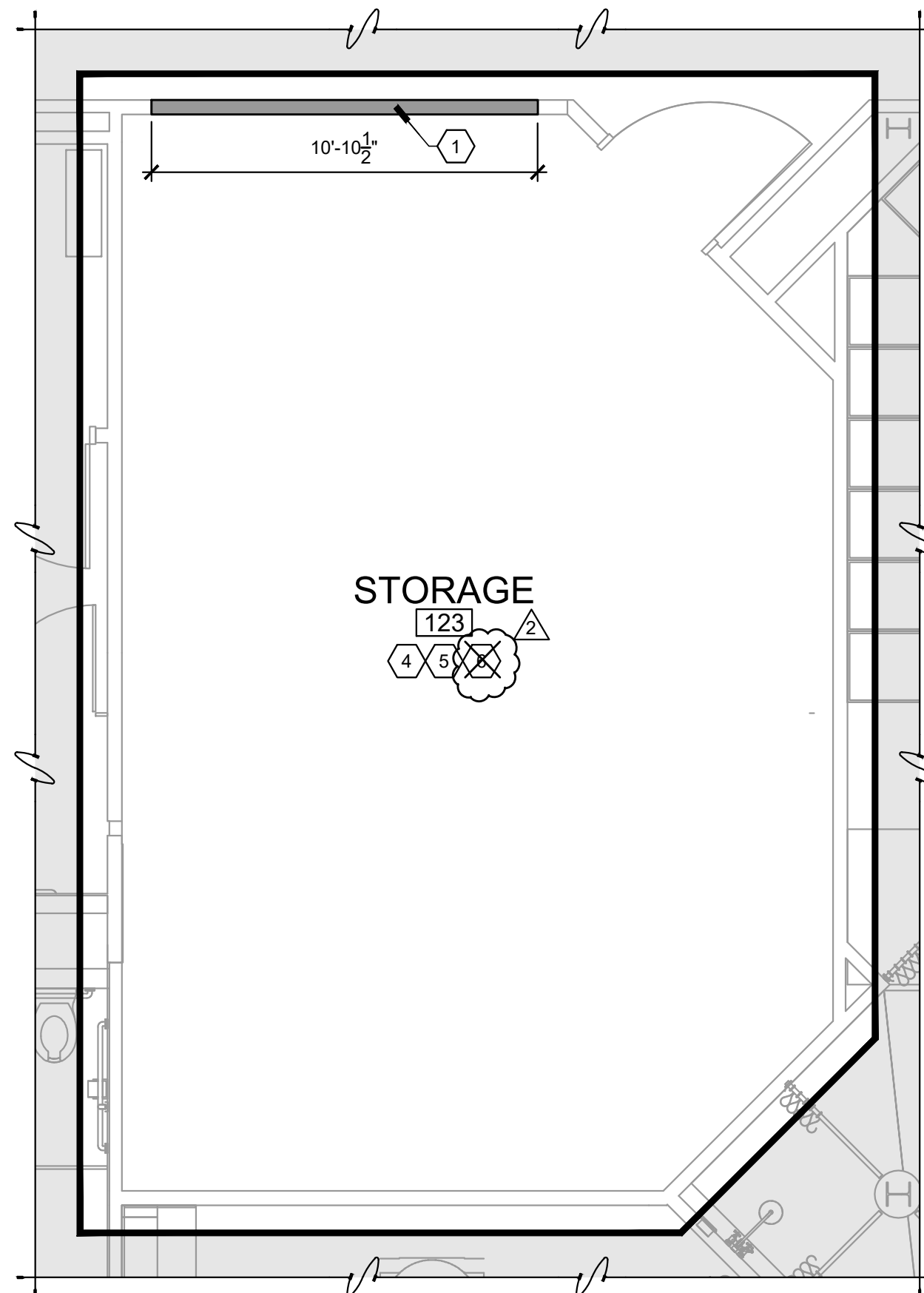
3 SILL DETAIL  
SCALE: 1" = 1'-0"



ROOMS 112 AND 114  
NEW WORK PLAN

1  
A-111

SCALE: 1/4" = 1'-0"



# ROOM 123 NEW WORK PLAN

## GENERAL NOTES

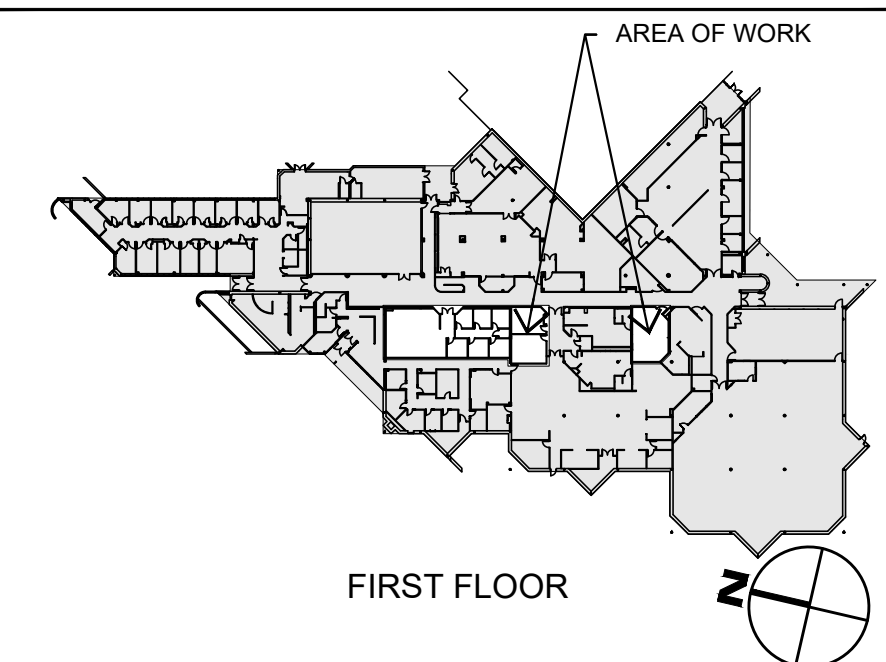
- A. WHERE APPLICABLE, EXISTING SPRINKLERS REQUIRING MODIFICATION MUST COMPLY WITH CODE AND BE PERFORMED BY A CERTIFIED FIRE PROTECTION CONTRACTOR. CONTRACTOR SHALL SECURE SERVICES OF A CERTIFIED AND UNIVERSITY APPROVED, UNIT PRICE FIRE PROTECTION CONTRACTOR WHO WILL INSTALL NEW OR MODIFY EXISTING SPRINKLER PIPING AND HEADS. FIRE PROTECTION CONTRACTOR SHALL SUPPLY CERTIFICATION THAT ALL MODIFICATIONS ARE COMPLETE AND MEET ALL APPLICABLE CODE REQUIREMENTS.
- B. ALL FINISHES DISTURBED OR DAMAGED DURING CONSTRUCTION, THAT ARE NOT IN THE SCOPE, SHALL BE PATCHED AND FINISHED TO MATCH THE ADJACENT FINISH.
- C. ALL MATERIAL IDENTIFIED AS HAZARDOUS WILL BE ABATED BY THE UNIVERSITY OF KENTUCKY PRIOR TO THE CONTRACTOR'S ARRIVAL ON SITE, HOWEVER, IT WILL BE THE RESPONSIBILITY OF THE CONTRACTOR TO REPAIR AND REFINISH ALL ABATEMENT DAMAGED FLOORS, WALL, CEILINGS, ETC., TO THEIR ORIGINAL FINISHED STATE. IF THE CONTRACTOR SUSPECTS ANY ADDITIONAL MATERIAL TO BE ENVIRONMENTALLY HAZARDOUS, STOP WORK IMMEDIATELY AND CONTACT OWNERS REPRESENTATIVE.
- D. ALL DIMENSIONS FOR EXISTING STRUCTURE ARE FROM FACE OF WALL FINISH TO FACE OF WALL FINISH. ALL NEW CONSTRUCTION DIMENSIONS ARE FROM FACE OF FRAMING TO FACE OF FRAMING OR EXISTING FINISH, UNLESS NOTED OTHERWISE.
- E. VERIFY ALL DIMENSIONS PRIOR TO DEMOLITION/CONSTRUCTION.
- F. COORDINATE ALL ROUGH OPENINGS WITH MANUFACTURER PRIOR TO DEMOLITION AND CONSTRUCTION.
- G. REFER TO SHEET A-002 FOR DOOR AND FINISH SCHEDULES AND SHEET A-001 FOR GENERAL NOTES.
- H. NOT ALL DEMOLISHED COMPONENTS WILL BE THE CONTRACTORS RESPONSIBILITY TO REMOVE. THE OWNER HAS FIRST RIGHT OF REFUSAL FOR ALL EQUIPMENT AND COMPONENTS AND WILL BE RESPONSIBLE THE REMOVAL OF ALL ITEMS REMAINING WITH THE OWNER PRIOR TO THE START OF CONSTRUCTION. REMOVAL OF ANY ITEM FOR THE OWNER WILL NEED TO BE COORDINATED WITH THE UNIVERSITY OF KENTUCKY CONSTRUCTION MANAGER PRIOR TO CONSTRUCTION.
- I. REFER TO SHEET A-001 FOR LEGEND AND ABBREVIATION INFORMATION.

SHEET NOTES 

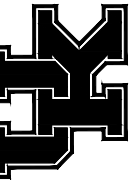
1. INFILL GLASS BLOCK WINDOW OPENING WITH 3-5/8" METAL STUDS AT 16" O.C., 5/8" TYPE "X" GYPSUM BOARD (BOTH SIDES), WITH 3" SOUND BATT INSULATION AND A LEVEL 4 FINISH, PRIMER AND PAINT OUT SIDE OF WALL TO MATCH EXISTING, (2 COATS). PRIMER AND PAINT INSIDE OF WALL ACCORDING TO ROOM FINISH SCHEDULE. (2 COATS).
2. CONSTRUCT NEW WALL WITH 3-5/8" METAL STUDS AT 16" O.C., 5/8" TYPE "X" GYPSUM BOARD, WITH 3" SOUND BATT INSULATION AND A LEVEL 4 FINISH, AND PRIMER ONLY, (2 COATS). ATTACH TO STRUCTURE ABOVE. GYPSUM BOARD ON BOTH SIDES TO EXTEND TO 9'-0". SEE DETAIL 2 ON SHEET A-400. FRAME AROUND EXISTING HVAC DUCT, PIPING, AND EQUIPMENT, AS REQUIRED.
3. FRAME IN NEW 3'-0"x7'-0" STEEL DOOR AND DOOR FRAME. SEE DOOR AND DOOR FRAME SCHEDULE ON SHEET A-002 FOR ADDITIONAL INFORMATION.
4. EXISTING WALLS, PRIMER ONLY, (2 COATS).
5. FILL AND COMPACT AREA WITH DENSE GRADE AGGREGATE (DGA). ADD 6MIL PLASTIC VAPOR BARRIER BETWEEN DGA AND NEW CONCRETE SLAB. NEW SLAB SHALL BE 6" THICK, 4000-PSI, 16' LONG, TO DEPTH OF 8" INTO EXISTING CONCRETE SLAB AT 24" O.C. USING EPOXY ANCHORING. BROOM FINISH REQUIRED.

6. PROVIDE AND INSTALL NEW 4" VINYL BASE AT ALL GYPSUM BOARD WALLS. SEE ROOM FINISH SCHEDULE ON SHEET A-002 FOR ADDITIONAL INFORMATION.

## KEY PLAN



**UNIVERSITY OF KENTUCKY**  
**Physical Plant Division**  
**Facilities Engineering**



ROOMS 110, 121, AND 123 RENOVATION PROJECT

ARCHITECTURAL PLAN NEW WORK - ROOM 110

REVISIONS	
#	DATE
2	03/08/2023
DESIGNED BY: STAFF	
DRAWN BY: ER	
CHECKED BY: ST-W	
APPROVED BY: BL	
PROJECT NO.: 307004656613	
DATE: 02/20/23	
DRAWING NUMBER:	

**A-111**